



**City of Bellevue  
Development Services Department  
Land Use Staff Report**

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**Proposal Name:** Melnik Preliminary Short Plat

**Proposal Address:** 3236 113<sup>th</sup> Ave SE

**Proposal Description:** Preliminary Short Plat approval to subdivide an existing 20,598 SF parcel into 2 single-family residential lots. An existing residence would remain on Parcel B. Both parcels would be accessed from 113<sup>th</sup> Ave SE.

**File Number:** 19-118699-LN

**Applicant:** Victor F. Melnik

**Decisions Included:** Preliminary Short Plat (Process II)

**Planner:** Peter Rosen, Senior Planner

**State Environmental Policy Act Threshold Determination:** **Exempt**

**Department Decision:** **Approval with Conditions**

By: Peter Rosen, Land Use Planner  
Peter Rosen, Senior Planner  
Development Services Department

Application Date: July 8, 2019  
Notice of Application: August 8, 2019  
Minimum Comment Period: August 22, 2019  
Decision Publication Date: October 29, 2020  
Appeal Deadline: November 12, 2020

For information on how to appeal a proposal, visit the Permit Center at City Hall or call (425) 452-6800 [TTY (425) 452-4636]. Appeal of the Decision must be made with the City Clerk by 5 PM on the date noted for appeal of the decision.

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### Attachments:

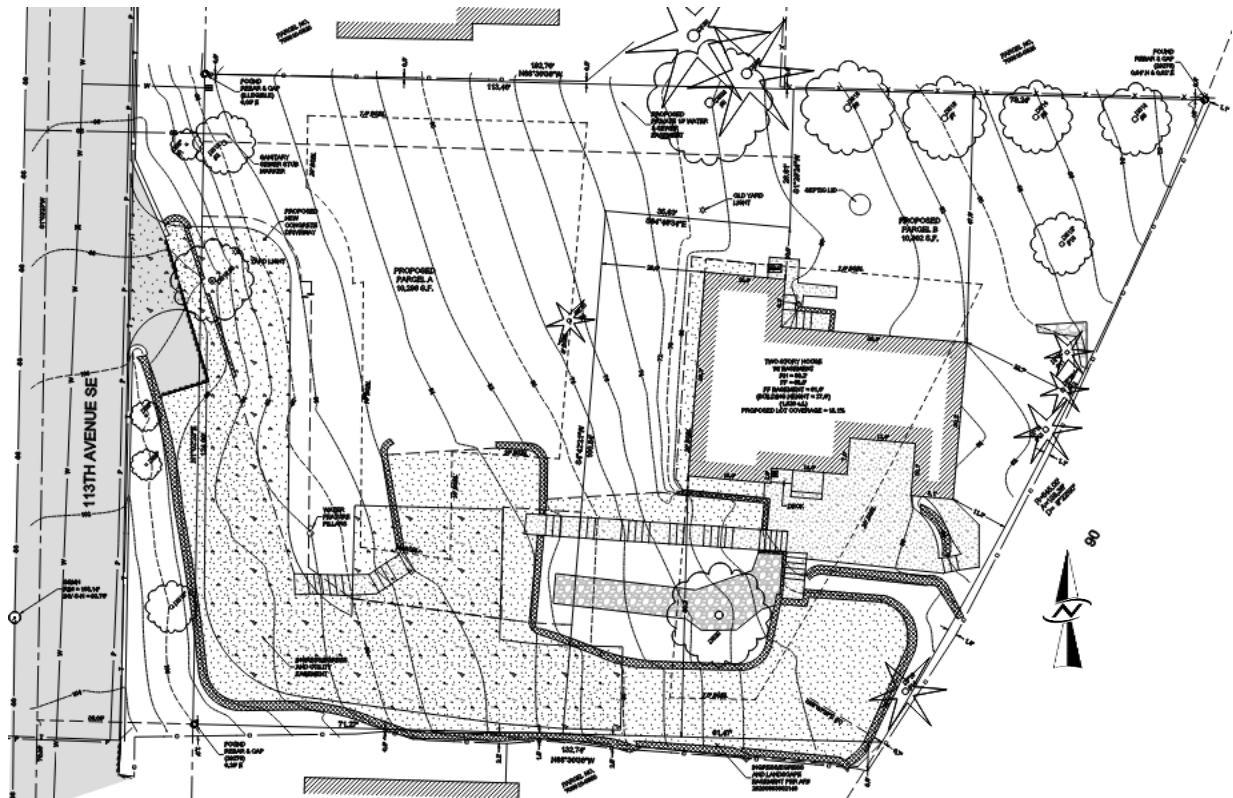
1. Preliminary Short Plat
2. Civil Plans
3. Use Easement

## I. DESCRIPTION OF PROPOSAL

The applicant is proposing to short plat an existing 20,598 square foot (SF) lot into two single-family residential parcels: Parcel A is 10,296 SF in area and Parcel B is 10,302 SF. An existing single family residence would remain on Parcel B. The civil plans show a 1,400 SF footprint for a future residence on Parcel A

The existing driveway accessing the site off 113<sup>th</sup> Ave SE is angled off the road and will be revised to come off 113<sup>th</sup> Ave SE at a 90 degree angle. The existing gravel driveway will be paved and improved to 16-feet wide. The improved driveway will be within a 20-foot wide access easement across Parcel A to provide access to Parcel B.

### Figure 1 – Preliminary Short Plat Proposal



## II. SITE DESCRIPTION AND SITE CONTEXT

The site is presently developed with a single-family residence on the east portion of the lot, which is proposed to be retained on Parcel B of the proposed short plat. There is a wide gravel driveway along the south portion of the lot, which provides access to the existing residence. The gravel area also extends north onto proposed Parcel A and would be paved and improved for access to a future residence.

The driveway along the south property boundary encroaches onto the adjacent property to the south. The applicant has obtained a use easement from the adjacent property owner for the encroaching driveway and landscaping (Attachment 3).

The site is vegetated with lawn and scattered ornamental shrubs. There is a row of deciduous trees along the northeast boundary of the site, several evergreen trees along the east property boundary and scattered deciduous trees along the west site boundary.

The site is moderately sloped toward the east, with slopes ranging between 15%-19.7%. The site elevation is approximately 100 feet along the site frontage on 113<sup>th</sup> Ave SE, sloping down to the existing residence at approximately 68 feet, and to an elevation of 50 feet in the northeast corner of the site.

**Figure 2 – Existing Site Conditions**



The site is bordered by the Interstate-90/Bellevue Way interchange to the south and east and adjoined by single family residences to the north and west.

**Figure 3 – Site Context Aerial Photograph**





### III. CONSISTENCY WITH ZONING AND LAND USE CODE REQUIREMENTS

#### A. Zoning

The subject site is located in the R-3.5 land use district and is surrounded by similar zoned residential properties. The Comprehensive Plan Designation is Single-Family Medium Density.

Refer to Table 1 of Section III.B below for discussion of zoning dimensional requirements.

**Figure 4 – Zoning Map**



#### B. Consistency with Standard Land Use Code Requirements

**Table 1 – Dimensional Requirements**

<b>BASIC INFORMATION</b>		
<b>Zoning District</b>	R-3.5 Southwest Bellevue Subarea Comprehensive Plan Designation: Single-Family Medium Density	
<b>Gross Site Area</b>	20,598 square feet (approx. 0.473 acres)	
<b>ITEM</b>	<b>REQ'D/ALLOWE D</b>	<b>PROPOSED</b>
<b>Minimum Lot Area</b>	10,000 Square Feet	Parcel A: 10,296 Square Feet Parcel B: 10,302 Square Feet
<b>Minimum Lot Width</b>	70 Feet	Parcel A: 124.99/127.45 Feet Parcel B: 127.45/138.66 Feet

<b>Minimum Lot Depth</b>	80 Feet	Parcel A: 71.5/114 Feet Parcel B: 61.47/103.33 Feet
<b>Minimum Street Frontage</b>	30 Feet	Parcel A: 124.99 Feet frontage on 113 <sup>th</sup> Ave SE Parcel B: 61.47 Feet frontage on access easement
<b>Building Setbacks</b>		Parcel A      Parcel B (existing residence)
Front Yard	20 Feet	30 Feet      20 Feet
Rear Yard	25 Feet	54.3 Feet      11.3 Feet/22.7 Feet*
Min. Side Yard	5 Feet	7.5 Feet      10 Feet/47.8 Feet
2 Side Yards	15 Feet	7.5 Feet +      10 Feet/47.8 Feet + 50.2 Feet
Access Easement	10 feet	10 feet from access easement 10 feet
<b>Tree Retention</b>	30% total diameter inches	Total 196 diameter inches 180 diameter inches retained = 91.83%

\* Existing residence has a rear setback of a minimum of 11.3 feet and is non-conforming to the 25-foot rear setback standard.

#### IV. STATE ENVIRONMENTAL POLICY ACT (SEPA)

The proposal is exempt from SEPA review. Short Plats which do not contain Critical Areas are exempt from SEPA review pursuant to WAC 197-11-800(6)(d), BCC 22.02.032.

#### V. SUMMARY OF TECHNICAL REVIEWS

##### A. Utilities Review

###### Storm Drainage

This project will be reviewed under the 2019 Utilities Engineering Standards.

There is an existing residence on the eastern downhill half of the site. The project drains to Lake Washington via the Mercer Slough Drainage Basin. The project is new development. MR #1-5 apply because the total of the new and replaced hard surfaces is greater than 5,000 square feet.

The project addresses MR #4: Preservation of Natural Drainage Systems and Outfalls by continuing to discharge stormwater to the existing outfall location.

The project addresses MR #5: On-site Stormwater Management by using List #1. *Lawns and Landscaped Areas* will receive Post-Construction Soil Quality and Depth. *Roofs* run-off will be routed to rock splash pads. *Other Hard Surfaces (Driveways/Sidewalks)* will be routed to rock splash pads.

A Storm Drainage design will be reviewed under a future Single Family Residential (BS) building permit. A Storm Drainage Report will be required.

###### Water

The project is served from the City of Bellevue EN 300 water pressure zone. The existing residence on the proposed lower Parcel B is served by an existing domestic water service tapped off the 6-inch AC water main located on 113<sup>th</sup> Ave SE. The proposed residence

located on the future upper Parcel A may be served off the 6-inch AC water main located on 113<sup>th</sup> Ave SE by a new water service.

The new water service will require a water service application (UC permit). Application fees will include permit fees, Regional Capital Facilities Charge and any other applicable fees due at the time.

#### Sewer

A side sewer (UA) permit will be required for the new sanitary side sewer connection, including modifications.

**Refer to Utilities Review Conditions of Approval in Section IX of this report.**

### **B. Fire Department Review**

The Fire Department has reviewed and approved the preliminary short plat with no conditions.

### **C. Clearing & Grading Review**

The clearing and grading reviewer has reviewed the plans and materials submitted for this project and has approved the clearing and grading portion of land use application.

A Clearing and Grading Permit is required for the infrastructure development per BCC 23.76.035. The permit application must be in accordance with the Clearing and Grading Code. **Refer to Clearing & Grading Review Conditions of Approval in Section IX of this report.**

### **D. Transportation Review**

The Transportation Department has reviewed the plans submitted for the preliminary short plat and recommends approval. The final engineering plans must show all transportation-related improvements and must be consistent with the Transportation Development Code (BCC 14.60) and the Transportation Department Design Manual prior to approval of the plat infrastructure permit.

Prior to final short plat approval, the developer must complete all transportation improvements at the developer's expense (BCC 14.60.110); or provided that all the requirements of BCC 14.60.260 are met, the director may accept an acceptable financial assurance device equivalent to 150% of the cost of the unfinished improvements. Installation of improvements that would negatively affect safety if left unfinished may not be delayed through use of a financial assurance device.

Under BCC 22.16, payment of the transportation impact fee for each new home prior to building permit issuance will adequately mitigate off-site transportation impacts. The fee amount is subject to periodic revision by the City Council. Builders will pay the fee in effect at the time of building permit issuance.

### **Site Access**

The proposed two lot short plat is comprised of an existing lot on the east side of 113<sup>th</sup> Avenue SE, between SE 34<sup>th</sup> Street and SE 32<sup>nd</sup> Court. The site currently has one existing single-family home taking access from 113<sup>th</sup> Avenue SE via one single family driveway. 113<sup>th</sup> Avenue SE is a two-lane road classified as a collector arterial. Access for the short plat will be via a joint use driveway to replace the existing single-family driveway on the 113<sup>th</sup> Avenue SE frontage. The joint use driveway will be supported by a private retaining wall. Any portion of the retaining wall that is located with public right-of-way will require a hold harmless agreement with the city. No other access connection to city right-of-way is authorized. The joint use driveway must be a minimum of 16 feet wide contained within a minimum 20-foot-wide access easement, and be built per the Transportation Design Manual Standard Drawings.

Street names and site addresses will be determined by the City's Parcel and Address Coordinator.

### **Street Frontage Improvements**

The Melnik short plat is located on the east side of 113<sup>th</sup> Avenue SE, between SE 34<sup>th</sup> Street and SE 32<sup>nd</sup> Court. There is currently a 4-foot-wide paved shoulder with curb and gutter along the 113<sup>th</sup> Avenue SE frontage. The site currently has one existing single-family home taking access from 113<sup>th</sup> Avenue SE via one single family driveway. 113<sup>th</sup> Avenue NE is a two-lane road classified as a collector arterial. Access for the short plat will be via a joint use driveway, replacing the existing single-family driveway on the 113<sup>th</sup> Avenue SE frontage.

Frontage improvements will be required, and shall include:

113<sup>th</sup> Avenue SE:

- Install new minimum 16-foot-wide joint use driveway and driveway approach per Transportation Design Manual standard drawing SW-180-1. The grade of the joint use driveway is limited to grade of 10% or less for 20 feet past the back of the driveway approach and limited to 15% thereafter.
- Install street lighting along the 113<sup>th</sup> Avenue SE frontage per City of Bellevue standards.
- Replace or relocate any existing street signs or channelization impacted by the project.
- Sight distance requirements must be met per BCC 14.60.240 at the new driveways.
- Provide a vehicle turnaround facility on site.
- Any overhead utilities into the plat are required to be undergrounded.
- An indemnification agreement will be required for any portion of the private retaining wall that is located within the public right-of-way.

### **Use of the Right of Way**

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading, and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any



construction permit including demolition permit.

### **Pavement Restoration**

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every public street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it was last resurfaced. These three categories are No Street Cuts Permitted, Overlay Required, and Standard Trench Restoration. Each category has different trench restoration requirements associated with it.

Near the development site 113<sup>th</sup> Avenue SE is classified as Standard Trench Restoration. Any street cuts into 113<sup>th</sup> Avenue SE will require standard trench restoration per Design Manual drawing RC-190-1.

### **Sight Distance**

The access design shall meet the sight distance requirements of BCC 14.60.240. Vegetation shall be trimmed as needed within the sight triangle.

### **Transportation Impacts and Mitigation**

City staff has analyzed the potential short-term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Due to the minimal amount of new p.m. peak hour trips being generated by the Melnik short plat, traffic impacts from this development will be minor in nature. Therefore, no additional mitigation is required other than payment of the transportation impact fee and the project site improvements.

**Refer to Transportation Review Conditions of Approval in Section IX of this report.**

## **VI. PUBLIC NOTICE AND COMMENT**

Application Date:	July 8, 2019
Public Notice (500 feet):	August 8, 2019
Minimum Comment Period:	August 22, 2019

The Notice of Application for the short plat was published in the City of Bellevue Weekly Permit Bulletin on August 8, 2019. It was mailed to property owners within 500 feet of the project site. Public information signs were installed on the site the same day. No public comments have been received.

**VII. DECISION CRITERIA:**

**Land Use Code 20.45B.130.A Decision Criteria for a Preliminary Short Plat:**

The Director may approve or approve with modifications an application for a Preliminary Short Plat if:

- 1. The Preliminary Short Plat makes appropriate provisions for, but not limited to, the public health, safety and general welfare, for open spaces, drainage ways, streets, sidewalks, alleys, other public ways, water supplies, sanitary waste.**

**Finding:** City codes ensure public health, safety and general welfare through development code requirements. As discussed in this staff report, the proposed short plat is consistent with City Code and Standards. Existing private and public roads, as well as public water and sewer facilities, have been deemed adequate to serve the proposed development with the required improvements. The applicant will be required to provide stormwater drainage improvements consistent with City of Bellevue Storm engineering standards. The private access drive off 113<sup>th</sup> Ave SE has been revised to a 90 degree angle to improve sight distance.

- 2. The public interest is served by the short subdivision.**

**Finding:** The public interest is served by providing additional housing opportunities in accordance with the Comprehensive Plan, while ensuring compliance with City codes and standards.

- 3. The preliminary short plat appropriately considers the physical characteristics of the proposed short subdivision site.**

**Finding:** The preliminary short plat appropriately considers the physical characteristics of the site. The site is moderately sloped and the infrastructure improvements and construction of a new residence on Parcel A will require minimal alteration of existing site topography.

The proposal would retain over 91% of the total diameter of existing significant trees on the site (code requires retaining 30%). There are no critical areas on this site that require further protection. **Refer to Conditions of Approval regarding Tree Protection and Tree Retention in Section IX of this report.**

- 4. The proposal complies with all applicable provisions of the Land Use Code (BCC Title 20), the Utility Code (BCC Title 24), and the City of Bellevue Development Standards.**

**Finding:** As discussed in this staff report, the proposal complies with the Land Use Code requirements for the R-3.5 zoning district, the Utility Code, Transportation Code, and other applicable City of Bellevue Development Standards. Refer to Section III.B of this report for Land Use Code dimensional requirements.

**5. The proposal is in accord with the Comprehensive Plan (BCC Title 21).**

**Finding:** The site is located within the Southwest Bellevue subarea. The Comprehensive Plan designation is Single-Family Medium Density, which is implemented by the R-3.5 zoning district.

The proposal complies with applicable Comprehensive Plan policies city-wide and for this Subarea:

The single-family home that would be constructed on Parcel A is a use that is consistent with the surrounding neighborhood and therefore would maintain the character and appearance of the neighborhood (LU-13).

The proposed short plat provides housing for Bellevue's share of the regionally adopted demand forecasts for residential uses for the next 20 years (LU-5).

The proposal meets the Neighborhood Quality goal (Housing Element) by providing compatible housing (single-family in single-family district) (HO-3).

**6. Each lot in the proposal can reasonably be developed in conformance with current Land Use Code requirements without requiring a variance.**

**Finding:** Parcel B is currently developed and will retain the existing residence. The existing residence is nonconforming to the rear yard structure setback standard; the existing residence is setback a minimum distance of 11.3 feet from the east property boundary and a 25-foot rear yard setback applies. Future expansions or additions to the residence would need to meet the applicable nonconforming provisions in LUC 20.20.560.

The newly created Parcel A meets the minimum standards for lot width, lot depth, and lot area in the R-3.5 land use district (LUC 20.45B.055.B.3) and can reasonably be developed to current R-3.5 dimensional standards. However, it is noted on the Preliminary Short Plat and civil plans (Sheet 8 of 10), that the existing impervious surface area on Parcel A is approximately 32% of the total parcel area due to the existing driveway access and parking area. The plans indicate a 1,400 SF building footprint for future development on Parcel A. This would result in 45.87% impervious surface coverage which exceeds the 45% maximum impervious surface coverage (unless permeable hard surfaces are utilized). Future development of a residence on Parcel A shall meet all the dimensional requirements of the R-3.5 zone without the need for a variance. **Refer to Conditions of Approval regarding Variance Restriction in Section IX of this report.**

**7. All necessary utilities, streets or access, drainage and improvements are planned to accommodate the potential use of the entire property.**

**Finding:** The Utilities and Transportation Departments have reviewed the preliminary short plat and determined that all necessary utilities, drainage, access provisions and other required improvements are either existing, planned or conditioned as part of this approval, to accommodate the use of these lots. **Refer to Utility and Transportation Conditions of Approval in Section IX of this report.**

### **VIII. CONCLUSION AND DECISION:**

After conducting the various administrative reviews associated with this proposal, including applicable Land Use consistency, City Code, and standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE** the Melnik Preliminary Short Plat **WITH CONDITIONS**.

This approval automatically expires and is void if the applicant fails to file for approval of the final short plat within one year of the effective date of approval unless the applicant files for an extension at least 30 days prior to the expiration and the extension is granted pursuant to LUC 20.45B.150 and 160.

### **IX. CONDITIONS OF APPROVAL:**

The following conditions are imposed under authority referenced:

#### **COMPLIANCE WITH BELLEVUE CITY CODES AND ORDINANCES**

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances including but not limited to:

<b>Applicable Codes, Standards &amp; Ordinances</b>	<b>Contact Person</b>
Clearing & Grading Code – BCC 23.76	Savina Uzunow, (425) 452-7860
Construction Codes – BCC Title 23	Building Division, (425) 452-6864
Fire Code – BCC 23.11	Derek Landis, (425) 452-4112
Land Use Code – BCC Title 20	Peter Rosen, (425) 452-5210
Transportation Develop. Code – BCC 14.60	Ian Nisbet, (425) 452-4851
Right-of-Way Use Code 14.30	Ian Nisbet, (425) 452-4851
Utility Code – BCC Title 24	Chris Brookes, (425) 452-6825

### **A. GENERAL CONDITIONS:**

#### **1. UTILITIES - PRELIMINARY DESIGN, UTILITY CODES AND ENGINEERING STANDARDS**

Utility review has been completed on the preliminary information submitted at the time of this application. The review has no implied approvals for water, sewer and storm drainage components of the project. A Utility Extension Agreement will be required for review and approval of the utility design for sewer, water and storm. The side sewer connection will be reviewed, permitted and inspected under separate multifamily side sewer permits. Submittal of the Utility Extension will coincide with future clearing and grading permit review. Final civil engineering may require changes to the site layout to accommodate the utilities. Preliminary storm drainage review was completed under the codes and standards in place at the time of this application.

Authority: BCC Title 24.02, 24.04, 24.06

Reviewer: Chris Brookes, Utilities

## **2. CLEARING & GRADING PERMIT REQUIRED**

A Clearing and Grading Permit is required for the infrastructure development per BCC 23.76.035. The permit application must be in accordance with the Clearing and Grading Code, as outlined in the submittal requirements and the Clearing and Grading Development Standards, which is available on the City of Bellevue website at: <https://development.bellevuewa.gov/codes-and-guidelines/clearing-grading-codes-and-guidelines/>

Authority: Clearing & Grading Code 23.76.035

Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

## **3. VARIANCE RESTRICTION**

Approval by the City of this short plat is a determination that each lot in the short plat can be reasonably developed in conformance with the Land Use Code requirements in effect at the time of preliminary short plat approval without requiring a variance.

The Preliminary Short Plat indicates a 1,400 SF building area on Parcel A and this would result in 45.87% impervious surface coverage, which exceeds the 45% maximum impervious surface coverage (unless permeable hard surfaces are utilized). Future development of a residence on Parcel A shall meet all the dimensional requirements of the R-3.5 zone without the need for a variance.

Authority: Land Use Code 20.45B.130.A.6

Reviewer: Peter Rosen, Development Services Department

## **B. CONDITIONS PRIOR TO ISSUANCE OF ANY PLAT ENGINEERING/CLEAR AND GRADE PERMIT:**

### **TRANSPORTATION REVIEW:**

#### **4. RIGHT OF WAY USE PERMIT**

The applicant is required to apply for a Right of Way Use Permit before the issuance of any clearing and grading, building, foundation, or demolition permit. In some cases, more than one Right of Way Use Permit may be required, such as one for hauling and one for construction work within the right of way. A Right of Way Use Permit regulates activity within the city right of way, including but not limited to the following:

- a) Designated truck hauling routes.
- b) Truck loading and unloading activities.
- c) Hours of construction and hauling.
- d) Continuity of pedestrian facilities.
- e) Temporary traffic control and pedestrian detour routing for construction activities.
- f) Street sweeping and maintenance during excavation and construction.
- g) Location of construction fences.
- h) Parking for construction workers.
- i) Construction vehicles, equipment, and materials in the right of way.
- j) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access.

AUTHORITY: Bellevue City Code 14.30  
REVIEWER: Tim Stever, (425) 452-4294

## **5. OFF-STREET PARKING**

The applicant must secure sufficient off-street parking for construction workers, equipment, and materials storage before the issuance of a clearing and grading, building, foundation, or demolition permit.

AUTHORITY: Bellevue City Code 14.30  
REVIEWER: Tim Stever, (425) 452-4294

## **6. ENGINEERING PLANS**

A street lighting plan, channelization plan, and site (civil engineering) plan produced by a qualified engineer must be approved by the City prior to clear and grading permit approval. The design of all street frontage improvements must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, and the provisions of the Transportation Department Design Manual. The engineering plans must correctly show all transportation-related engineering details, including but not limited to, the design of the private road or shared driveway, the connection to 113<sup>th</sup> Avenue SE, pavement restoration in 113<sup>th</sup> Avenue SE, mailbox location, and sight distance. Appropriate standard drawings from the Transportation Department Design Manual must be included in the engineering plans.

Specific requirements are detailed below:

### **113<sup>th</sup> Avenue SE:**

- Install new minimum 16-foot-wide joint use driveway and driveway approach per Transportation Design Manual standard drawing SW-180-1.
- Install street lighting along the 113<sup>th</sup> Avenue SE frontage per City of Bellevue standards.
- Replace or relocate any existing street signs or channelization impacted by the project.
- Sight distance requirements must be met per BCC 14.60.240 at the new driveways.
- Provide a vehicle turnaround facility on site.
- Any overhead utilities into the plat are required to be undergrounded.
- An indemnification agreement will be required for any portion of the private retaining wall that is located within the public right-of-way.



a) Miscellaneous:

- Landings on sloping approaches are not to exceed a 10% slope for a distance of 20 feet approaching the back edge of sidewalks. Driveway grades must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
- The maximum cross grade of a street at the street end shall be 8%.
- Vehicle and pedestrian sight distance must be provided per BCC 14.60.240 and 14.60.241.

Construction of all street and street frontage improvements must be completed prior to closing the clear and grade permit and right of way use permit for this project. A Design Justification Form must be provided to the Transportation Department for any aspect of any pedestrian route adjacent to or across any street that cannot feasibly be made to comply with ADA standards. Forms must be provided prior to approval of the clear and grade plans for any deviations from standards that are known in advance. Forms provided in advance may need to be updated prior to project completion. For any deviations from standards that are not known in advance, Forms must be provided prior to project completion.

AUTHORITY: Bellevue City Code 14.60; Transportation Department Design Manual; and Transportation Department Design Manual Standard Drawings; Americans with Disabilities Act.

REVIEWER: Ian Nisbet, (425) 452-4851

## **7. SIGHT DISTANCE**

If necessary to meet the sight distance requirements of BCC 14.60.240 and standard drawings RL-100-1 and RL-120-1, existing vegetation near the access points on 113<sup>th</sup> Avenue SE must be trimmed. Ground vegetation within the sight triangle must be trimmed to no more than 2.5 feet above a line drawn from pavement level to pavement level. Trees within the sight triangle must be limbed up to a height of 7.5 feet above a line drawn from pavement level to pavement level. A description of any required vegetation trimming must be shown on a sheet of the clearing and grading plan set.

AUTHORITY: Bellevue City Code 14.60.240

REVIEWER: Ian Nisbet, (425) 452-4851

## **8. PAVEMENT RESTORATION**

The city's pavement manager has determined that this segment of 113<sup>th</sup> Avenue SE will require Grind and Overlay trench restoration for any utility connections or other digging in the street surface. Trench restoration must meet the requirements of Section 21 of the Design Manual and standard drawings RC-190-1 through RC-220-1. Exact copies of the appropriate trench restoration drawing(s) must be included in the final engineering plans.

AUTHORITY: Bellevue City Code 14.60.250 and Design Manual Design Standard # 23

REVIEWER: Tim Stever, (425) 452-4294

**CLEARING & GRADING REVIEW:**

**9. CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (CSWPPP):**

A site specific CSWPPP is required for the clearing and grading permit application. It must include a narrative, drawings, and a turbidity and pH monitoring plan. The forms can be found here:

<https://development.bellevuewa.gov/codes-and-guidelines/clearing-grading-codes-and-guidelines/>

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

**10. EROSION AND SEDIMENTATION CONTROL - MINIMUM REQUIREMENT 2**

Clearing and Grading and erosion and sedimentation control (ESC) drawings are required for each permit application. They have to show how the construction stormwater will be collected, treated and disposed of.

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

**11. TREE PROTECTION**

Significant trees that are scheduled for retention must be protected during construction. Trees located outside of the areas needed to be cleared for the shared infrastructure construction would not be allowed to be removed under the clearing and grading permit

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

**12. CLEARING AND GRADING LIMITS**

Clearing & Grading limits must be presented in the clearing & grading permit application. The limits should encompass the entire project phase (including utilities and frontage improvements)

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

**13. CONSTRUCTION SEQUENCE**

A project specific construction sequence is required on the ESC drawing. The sequence should include all erosion control and construction milestone

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, DSD, Clearing & Grading Section

**14. RAINY SEASON RESTRICTIONS**

The project site is subject to rainy season restrictions. Specific approval from the Department of Planning and Community Development is required to begin or continue clearing & grading activities during the rainy season (Oct.1 through Apr. 30)

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

**15. GEOTECHNICAL REPORT**

A geotechnical report is required for this project. The report must be submitted for review with the initial applications for land use review and construction permits

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

**16. TURBIDITY MONITORING PLAN**

Turbidity and pH monitoring may be required for this project

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

**17. ROCKERY REQUIREMENTS**

Rockeries or modular block walls that exceed 48" in height (as measured from the bottom of the base rock to the top) must be designed by a licensed geotechnical engineer. The design and calculations must be submitted to the Clearing & Grading reviewer during review of the Clearing & Grading Permit. Rockeries that exceed 30" in VISIBLE height are considered a structure according to the Land Use Code and are not permitted within structure setbacks.

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

**18. POST CONSTRUCTION SOILS**

For sites that must comply with Minimum Requirement #5, as set forth in BCC 24.06.065, all soils in disturbed areas that have not been covered by impervious surface, incorporated into a drainage facility or engineered as structural fill or slope must be amended with organic matter. Amended soils must meet the specifications of BMP T5.13, as a part of permanent site stabilization.

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

#### **19. ABATEMENT SECURITY**

Abatement security device is required for any project that involve more than 5,000 square feet of clearing and/or more than 50 cubic yards of excavation and/or fill. The amount of the security will be determined based upon an estimated construction cost for erosion and sedimentation control measures. Currently, the acceptable forms for abatement security device include assignment of savings and bond. The abatement security device must be established and an original of the signed forms must be submitted to the clearing and grading reviewer before the permit can be issued.

Authority: Clearing & Grading Development Standards  
Reviewer: Savina Uzunow, Development Services Department, Clearing & Grading Section

#### **20. TREE PROTECTION**

To mitigate adverse impacts during construction to trees identified to be retained, the applicant must comply with the following:

- a) Clearing limits shall be established outside of the drip lines for retained trees within the developed portion of the site. Six-foot chain link fencing with driven posts, or an approved alternative, shall be installed at the clearing limits (outside of the driplines) prior to initiation of any clearing and grading.
- b) No excavation or clearing should be performed within drip lines of retained trees except as specifically approved on plans. All such work shall be done by hand to avoid damage to roots and shall be done under the supervision of an arborist approved by the City.

AUTHORITY: Bellevue City Code 23.76.060  
REVIEWER: Peter Rosen, Development Services Department

### **C. PRIOR TO FINAL SHORT PLAT APPROVAL:**

#### **TRANSPORTATION REVIEW**

#### **21. INFRASTRUCTURE IMPROVEMENTS**

All street frontage and infrastructure improvements shown in the final engineering plans or required by city codes and standards must be completed prior to approval of the final short plat. If all the requirements of BCC 14.60.260 are met, the director may accept an acceptable financial assurance device equivalent to 150% of the cost of the unfinished improvements. Installation of improvements that would negatively affect safety if left unfinished may not be delayed through use of a financial assurance device. Improvements must be approved by the Transportation Department inspector before they are deemed complete.

AUTHORITY: Bellevue City Code 14.60.100, 110, 130, 150, 170, 190, 210, 240, 241, 260  
Transportation Department Design Manual Sections 3, 4, 5, 7, 11, 14, 19  
REVIEWER: Ian Nisbet, (425) 452-4851

## **22. ACCESS DESIGN AND MAINTENANCE**

The final Subdivision map must include a note that specifies that the owners of lots served by the joint use driveway are jointly responsible for maintenance and repair of the use driveway. Also, the final Subdivision map must include a note that specifies that the joint use driveway will remain open at all times for emergency and public service vehicles and shall not be gated or obstructed.

AUTHORITY: BCC 14.60.130

REVIEWER: Ian Nisbet, (425) 452-4851

## **23. TREE RETENTION**

The preliminary short plat identifies retention of 180 diameter inches (91% of total diameter inches) of existing significant trees. The Tree Preservation Plan shall portray the diameter size and of each significant tree to be retained and the drip-line of the trees. The Tree Preservation Plan shall be recorded with the final short plat mylar (recorded with King County). This Tree Preservation Plan must also contain the following note:

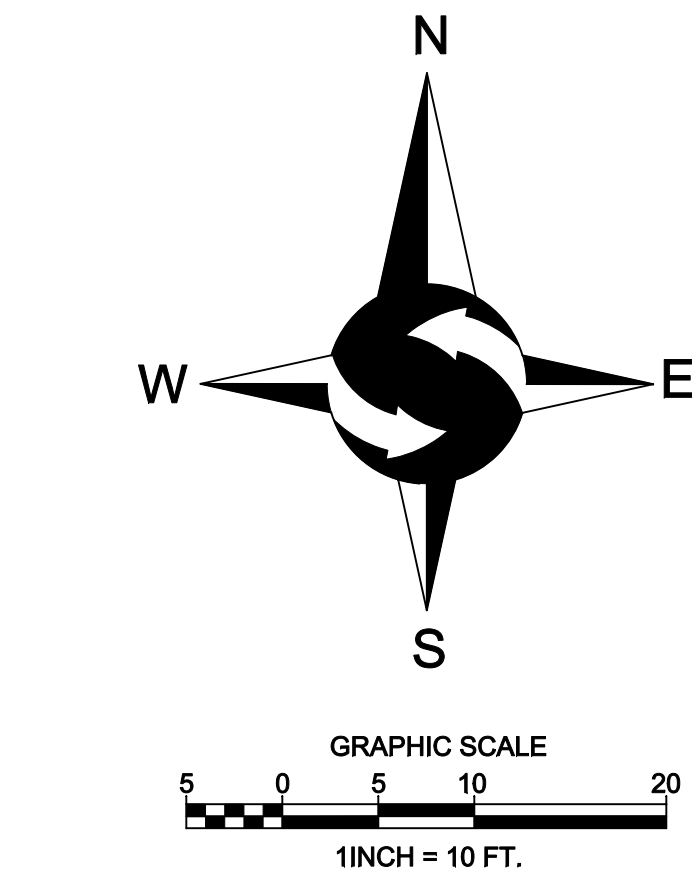
***“Designation of trees on the Tree Preservation Plan establishes a covenant by the owner to leave undisturbed all trees as shown on the Tree Preservation Plan. This covenant shall run with the land and shall be binding upon all future owners. No tree topping, tree cutting, or tree removal shall occur unless required or approved by the City. Except for ordinary landscape maintenance, no construction, clearing or land alteration activities shall occur within the drip-line of trees shown on the Tree Preservation Plan unless required or approved by the City. Activities in violation of this covenant are subject to penalty, including without limitation, fines and mitigation requirements. The City of Bellevue shall have the right, but not the obligation, to enforce the requirements, terms, and conditions of this covenant by any method available under law. It is the obligation of the owner to comply with the terms of the Tree Preservation Plan and this covenant.”***

AUTHORITY: Land Use Code 20.20.900.D

REVIEWER: Peter Rosen, Development Services Department



ATTACHMENT 1- PRELIMINARY SHORT PLAT



LEGEND

- |  |  |  |                          |
|--|--|--|--------------------------|
|  | FOUND MONUMENT AS DESCRIBED                        |  | OHP - OVERHEAD POWER     |
|  | FOUND REBAR AS DESCRIBED                           |  | OHU - OVERHEAD UTILITIES |
|  | TACK IN LEAD FOUND                                 |  | -X- CHAINLINK FENCE      |
|  | SET 5/8" X 24" IRON ROD<br>W/1" YELLOW PLASTIC CAP |  | -□- WOOD FENCE           |
|  | POWER METER  |  | CONCRETE WALL            |
|  | UTILITY POLE                                       |  | ROCKERY                  |
|  | GAS METER  |  | ASPHALT SURFACE          |
|  | SANITARY SEWER CLEANOUT                            |  | CONCRETE SURFACE         |
|  | SANITARY SEWER MANHOLE                             |  | GRAVEL SURFACE           |
|  | WATER VALVE  |  | CE CEDAR                 |
|  | FIRE HYDRANT                                       |  | DS DECIDUOUS             |
|  | WATER METER  |  | DF DOUGLAS FIR           |
|  | SIGN   |  | BI BIRCH                 |
|  | APPROXIMATE LOCATION SANITARY<br>SEWER LINE        |  | PI PINE                  |
|  | APPROXIMATE LOCATION STORM<br>DRAIN LINE           |  | * INDICATES MULTI-TRUNK  |

LEGAL DESCRIPTION

THE WEST 217.11 FEET OF LOT 9 AND 10, EXCEPT THE SOUTH 75 FEET OF THE WEST 150 FEET; ALL IN BLOCK 8, QUALHEIM'S LAKE WASHINGTON ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 15 OF PLATS, PAGE 48, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEED RECORDED UNDER RECORDING NUMBER 3380664; AND EXCEPT THAT PORTION THEREOF CONVEYED TO THE STATE OF WASHINGTON FOR PRIMARY STATE HIGHWAY NO. 2 BY DEED RECORDED UNDER RECORDING NO. 5589128 AND THAT PORTION CONVEYED UNDER KING COUNTY SUPERIOR COURT CAUSE NO. 885664;

SITUATE IN THE CITY OF BELLEVUE, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

AMENDED BOUNDARY LINE AGREEMENT BY GOLDSMITH FOR ROSA MAE MCDONALD AS RECORDED UNDER RECORDING NO. 20100119900001, RECORDS OF KING COUNTY, WASHINGTON. ACCEPTED A BEARING OF N51°28'40" BETWEEN MONUMENTS FOUND.

NAD 83/2011 WGS NORTH ZONE

PROJECT INFORMATION

SURVEYOR:	SITE SURVEYING, INC. 21923 NE 11TH ST SAMMAMISH, WA 98074 PHONE: 425.298.4412
PROPERTY OWNER:	VICTOR AND LYNDSEY MELNIK 3236 113TH AVE SE BELLEVUE, WA 98004
TAX PARCEL NUMBER:	700010-0840
PROJECT ADDRESS:	3236 113TH AVE SE BELLEVUE, WA 98004
ZONING:	R-3.5
JURISDICTION:	CITY OF BELLEVUE
PARCEL ACREAGE:	20,598 S.F. (± 0.473 ACRES) AS SURVEYED

GENERAL NOTES

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND NIKON NIVO 5.C TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN JANUARY 2019 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

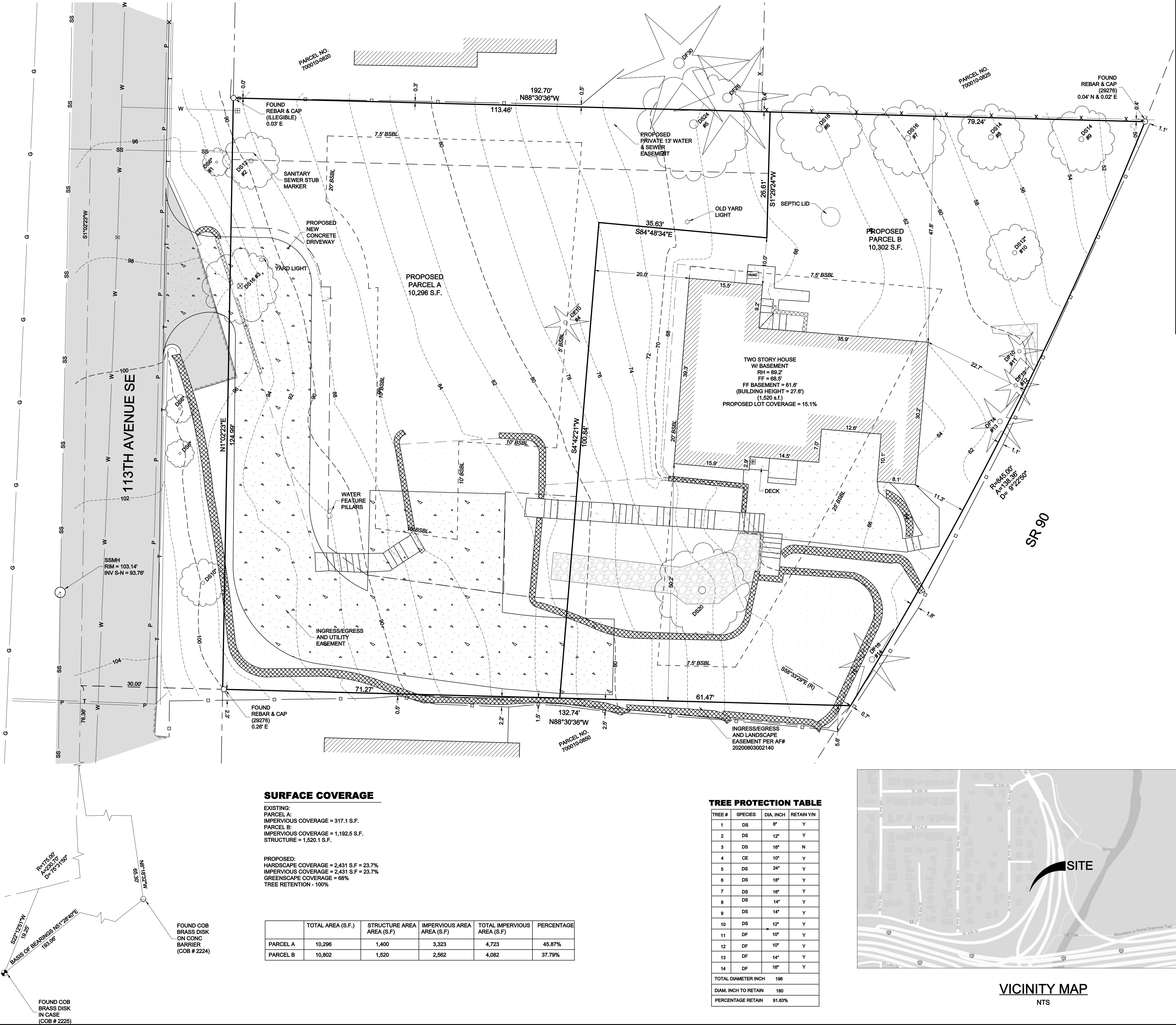
VERTICAL DATUM & CONTOUR INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY WCCS SURVEY CONTROL DATABASE.

THE MARK IS A BRASS CAP AT THE TOP OF CURB AT THE SOUTH END OF THE GUARDRAIL ON THE EAST SIDE OF 113TH AVE SE OPPOSITE OF HOUSE #3263.

POINT ID NO. COB H2224 & V223;  
ELEVATION: 106.569 FEET (33.092 METERS) NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.



SURFACE COVERAGE

EXISTING:  
PARCEL A:  
IMPERVIOUS COVERAGE = 317.1 S.F.  
PARCEL B:  
IMPERVIOUS COVERAGE = 1,192.5 S.F.  
STRUCTURE = 1,520.1 S.F.

PROPOSED:  
HARDSCAPE COVERAGE = 2,431 S.F. = 23.7%  
IMPERVIOUS COVERAGE = 2,431 S.F. = 23.7%  
GREENSPACE COVERAGE = 66%  
TREE RETENTION - 100%

	TOTAL AREA (S.F.)	STRUCTURE AREA (S.F.)	IMPERVIOUS AREA (S.F.)	TOTAL IMPERVIOUS AREA (S.F.)	PERCENTAGE
PARCEL A	10,296	1,400	3,323	4,723	45.87%
PARCEL B	10,802	1,520	2,562	4,082	37.79%

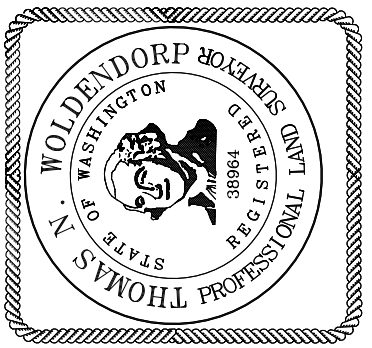
TREE PROTECTION TABLE

TREE #	SPECIES	DIA. INCH	RETAIN Y/N
1	DS	6"	Y
2	DS	12"	Y
3	DS	16"	N
4	CE	10"	Y
5	DS	24"	Y
6	DS	18"	Y
7	DS	16"	Y
8	DS	14"	Y
9	DS	14"	Y
10	DS	12"	Y
11	DF	10"	Y
12	DF	10"	Y
13	DF	14"	Y
14	DF	16"	Y
TOTAL DIAMETER INCH		196	
DIAM. INCH TO RETAIN		180	
PERCENTAGE RETAIN		91.83%	



VICINITY MAP  
NTS

NE 1/4, SE 1/4, SEC 8, TWP 24N, RNG 5E, W.M.



PRELIMINARY SHORT PLAT

VICTOR MELNIK  
3236 113TH AVENUE SE  
BELLEVUE, WA 98004

PROJECT NO. 18-564

DRAWN BY: MTS  
CHECKED BY: TNW  
DATE: 1/15/19

SHEET 1 OF 1

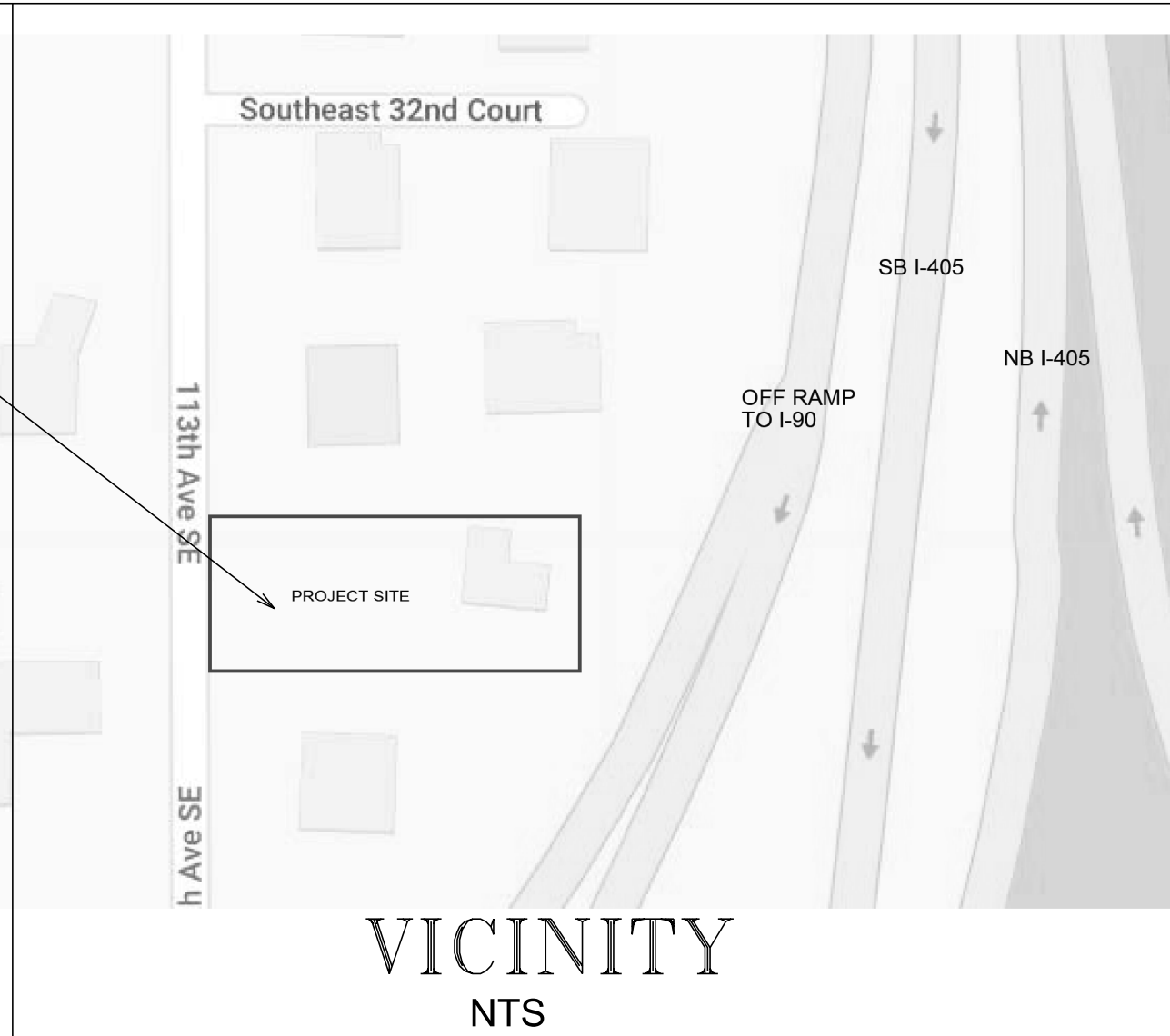


## GENERAL NOTES

## ATTACHMENT 2- CIVIL PLANS

## UTILITY NOTES

## PROPOSED PROJECT SITE



## TESC NOTES

- 1 All work shall conform to the 2019 edition of the City of Bellevue Utilities Department Engineering Standards.
- 2 From the pavement areas as directed by the Professional Engineer. Flushing of streets shall not be permitted
- 3 without prior City approval.
- 4 When work is to occur in easements, the Contractor shall notify the easement grantor and Bellevue Utilities in writing a minimum of 48 hours in advance of beginning work
- 5 (not including weekends or holidays). Failure to notify grantor and Bellevue Utilities will result in a Stop Work Order being posted until the matter is resolved to the satisfaction of
- 6 Bellevue Utilities. A written release from the easement grantor shall be furnished to the Utilities Inspector prior to permit sign-off.
- 7 Install flow diversion measures outside of the Critical Root Zone of trees to be protected. At no time shall construction storm water be directed towards trees to be protected. Construction
- 8 storm water shall not pond within a trees critical root zone.
- 9 All trenches shall be compacted, and Hot Mix Asphalt in place in paved areas, prior to testing storm lines for acceptance.

1. All clearing & grading construction must be in accordance with City of Bellevue (COB) Clearing & Grading Code, Clearing & Grading Development Standards, Land Use Code, Uniform Building Code, permit conditions, and all other applicable codes, ordinances, and standards. The design elements within these plans have been reviewed according to these requirements. Any variance from adopted erosion control standards is not allowed unless specifically approved by the City of Bellevue Development Services (DSD) prior to construction. It shall be the sole responsibility of the applicant and the professional civil engineer to correct any error, omission, or variation from the above requirements found in these plans. All corrections shall be at no additional cost or liability to the COB.
2. Approval of this erosion/sedimentation control (ESC) plan does not constitute an approval of permanent road or drainage design (e.g. size and location of roads, pipes, restrictors, channels, retention facilities, utilities, etc.).
3. A copy of the approved plans and drawings must be on-site during construction. The applicant is responsible for obtaining any other required or related permits prior to beginning construction.
4. The implementation of these ESC plans and the construction, maintenance, replacement, and upgrading of these ESC facilities is the responsibility of the applicant/contractor until all construction is completed and approved and vegetation/landscaping is established.
5. The ESC facilities shown on this plan must be constructed in conjunction with all clearing and grading activities, and in such a manner as to insure that sediment and sediment laden water do not enter the drainage system, roadways, or violate applicable water standards.
6. The ESC facilities shown on this plan are the minimum requirements for anticipated site conditions. During the construction period, these ESC facilities shall be upgraded as needed for unexpected storm events and to ensure that sediment and sediment-laden water do not leave the site.
7. All locations of existing utilities have been established by field survey or obtained from available records and should, therefore, be considered only approximate and not necessarily complete. It is the sole responsibility of the contractor to independently verify the accuracy of all utility locations and to discover and avoid any other utilities not shown which may be affected by the implementation of this plan.
8. The boundaries of the clearing limits shown on this plan shall be clearly flagged in the field prior to construction. During the construction period, no disturbance beyond the flagged clearing limits shall be permitted. The flagging shall be maintained by the applicant/contractor for the duration of construction.
9. Clearing shall be limited to the areas within the approved disturbance limits. Exposed soils must be covered at the end of each working day when working from October 1st through April 30th. From May 1st through September 30th, exposed soils must be covered at the end of each construction week and also at the threat of rain.
10. At no time shall more than one foot of sediment be allowed to accumulate within a trapped catch basin. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operation shall not flush sediment laden water into the downstream system.
11. Stabilized construction entrances shall be installed at the beginning of construction and maintained for the duration of the project.
12. The contractor must maintain a sweeper on site during earthwork and immediately remove soil that has been tracked onto paved areas as result of construction.
13. The ESC facilities shall be inspected daily by the applicant/contractor and maintained as necessary to continued functioning.
14. Any excavated material removed from the construction site and deposited on property within the City limits must be done in compliance with a valid clearing & grading permit. Locations for the mobilization area and stockpiled material must be approved by the Clearing and Grading Inspector at least 24 hours in advance of any stockpiling.
15. The ESC facilities on inactive sites shall be inspected and maintained a minimum of once a month or within the 48 hours following a major storm event.
16. Final site grading must direct drainage away from all building structures at a minimum 5% slope, per the International Residential Code (IRC) R401.3.

## STORM DRAINAGE NOTES

- Storm pipe shall be PVC conforming to ASTM D-3034 SDR35 or ASTM F-679. Bedding and backfill shall be as shown in the Standard Details.
- The footing drainage system and the roof downspout system shall not be interconnected and shall separately convey collected flows to the conveyance system or to on-site storm water facilities.
- Prior to final inspection and acceptance of storm drainage work, pipes and storm drain structures shall be cleaned and flushed. Any obstructions to flow within the storm drain system, (such as rubble, mortar and wedged debris), shall be removed at the nearest structure. Wash water of any sort shall not be discharged to the storm drain system or surface waters.
- Ends of each storm drain stub at the property line shall be capped and located with an 8' long 2" x 4" board, embedded to the stub cap and extending at least 3 feet above grade, and marked permanently "STORM". A copper 12 ga. locate wire firmly attached. The stub depth shall be indicated on the marker.
- All grates in roadways shall be ductile iron, bolt-locking, vane grates per the Standard Details. Structures in traffic lanes outside of the curb line which do not collect runoff shall be fitted with round, bolt-locking solid covers. Off-street structures which do not collect runoff shall be fitted with bolt-locking solid covers.
- Vegetation/landscaping in the detention pond, bioretention facility, vegetated roof and/or drainage swale(s) are an integral part of the runoff treatment system for the project. Such drainage facilities will not be accepted until plantings are established.
- All new manholes shall have a minimum inside diameter of 48" and shall conform to the Standard Details. All new catch basins shall conform to the Standard Details.
- Side storm stations are referenced from nearest downstream manhole/ catch basin.
- All testing and connections to existing mains shall be done in the presence of a representative of the City of Bellevue Utilities Department.
- All public storm drains shall be air tested and have a video inspection performed prior to acceptance (see #23 below). Storm main constructed with flexible pipe shall be deflection tested with a mandrel prior to acceptance.
- Storm stubs shall be tested for acceptance at the same time the main storm is tested.
- All manholes/ catch basins in unpaved areas shall include a concrete seal around adjustment rings per Standard Details.
- All storm main extensions within the public right-of-way or in easements must be stated by a surveyor licensed in Washington State for line and grade and cut sheets provided to the Professional Engineer, prior to starting construction.
- Storm drainage mainlines, stubs and fittings shall be constructed using the same pipe material and manufacturer. Connections between stubs and the mainline will be made with a tee fitting. Tee fitting shall be from same manufacturer as pipe. Cut-in connections are only allowed when connecting a new stub to an existing mainline.
- Manholes, catch basins and vaults are considered to be permit-required confined spaces. Entry into these spaces shall be in accordance with Chapter 296-809 WAC.
- Placement of surface appurtenances (MH lids, valve lids, etc.) in tire tracks of traffic lanes shall be avoided whenever possible.
- The Contractor shall perform a video inspection and provide a DVD of the storm pipe interior for the City review. The video shall provide a minimum of 14 lines per millimeter resolution and cover the entire length of the applicable pipe. The camera shall be moved through the pipe at a uniform rate ( $\geq 30$  ft/min), stopping when necessary to ensure proper documentation of the pipe condition. The video shall be taken after installation and cleaning to insure that no defects exist. The project will not be accepted until all defects have been repaired.
- Clearly label public and private systems on the plans. Private systems shall be marked private and shall be maintained by the property owner(s).
- All concrete structures (vaults, catch basins, manholes, oil/water separators, etc.) shall be vacuum tested.
- Manholes, catch basins and inlets in easements shall be constructed to provide a stable, level grade for a minimum radius of 2.5 feet around the center of the access opening to accommodate confined space entry equipment.
- Tops of manholes/ catch basins within public right-of-way shall not be adjusted to final grade until after paving.
- Contractor shall adjust all manhole/ catch basin rims to flush with final finished grades, unless otherwise shown.
- Contractor shall install, at all connections to existing downstream manholes/catch basins, screens or plugs to prevent foreign materials from entering existing storm drainage system. Screens or plugs shall remain in place throughout the duration of the construction and shall be removed along with collected debris at the time of final inspection and in the presence of a representative of the City of Bellevue Utilities Department.
- Before commencement of trenching, the Contractor shall provide filter fabric for all downhill storm drain inlets and catch basins, which will receive runoff from the project site. The contractor shall periodically inspect the condition of all filter fabric and replace as necessary.
- Minimum cover over storm drainage pipe shall be 2 feet, unless otherwise shown.
- Redirect sheet flow, block drain inlets and/or curb openings in pavement and install flow diversion measures to prevent construction silt laden runoff and debris from entering excavations and finish surfaces for bioretention facilities and permeable pavements.
- Where amended soils, bioretention facilities, and permeable pavements are installed, these areas shall be protected at all times from being over-compacted. If areas become compacted, remediate and till soil in accordance with the Citys Project Representatives requirements at no additional cost in order to restore the systems ability to infiltrate.

## LEGAL DESCRIPTION

QUALHEIMS LAKE WN ACRE TRS W 217.11 FT OF  
LOT 9 LOT 10 LESS S 75 FT OF W 150 FT LESS ST HWY

PROPERTY OWNER: VICTOR AND LYNDESEY MELNIK  
3236 113TH AVE SE  
BELLEVUE, WA 98004

**PROJECT ENGINEER: STEVE WU**  
**8822 NE 178TH ST**  
**BOTHELL, WA 98011**  
**TEL:206-795-5674**

## EROSION CONTROL NOTES

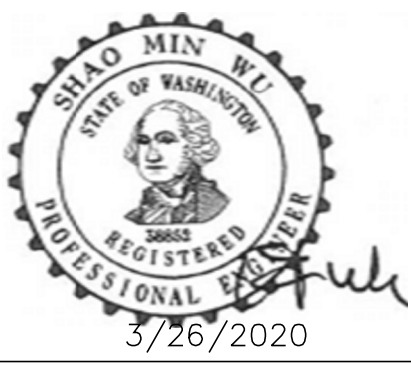
- 1) Provide and maintain temporary sedimentation collection facilities to ensure that sediment or other hazardous materials do not enter the storm drainage system in accordance with the sites approved CSWPPP.
- 2) For all construction during the rainy season, downhill basins and inlets must be protected with catch basin inserts. Simply placing filter fabric under the grate is not acceptable.

## RESTORATION NOTES

- 1) Surface restoration of existing asphalt pavement shall be as required by the right-of-way use permit.
- 2) The Contractor shall restore the Right-of-Way and existing public storm drainage easement(s) after construction to a condition equal or better than condition prior to entry. The Contractor shall furnish a signed release from all affected property owners after restoration has been completed.

[illegible]

**TANDEM ENGINEERING CONSULTANT INC**  
**8822 NE 178TH ST**  
**BOTHELL, WA 98011**



JIM. S	6/28/2020
DESIGNED BY	DATE
JIM. S	6/28/2020
DRAWN BY	DATE
S. WU	7/01/2020
CHECKED BY	DATE

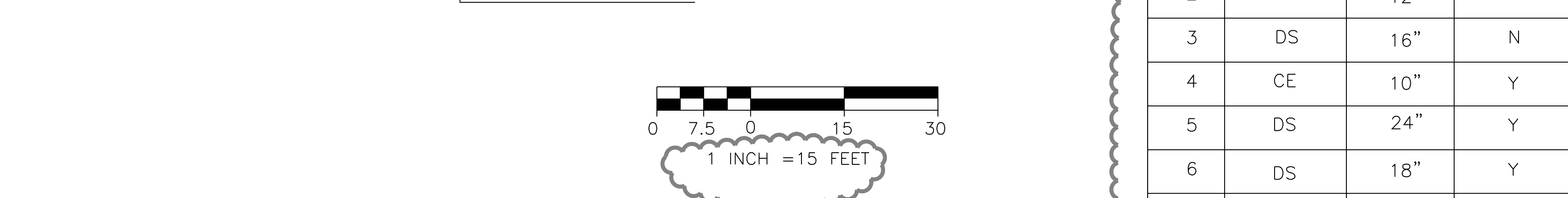
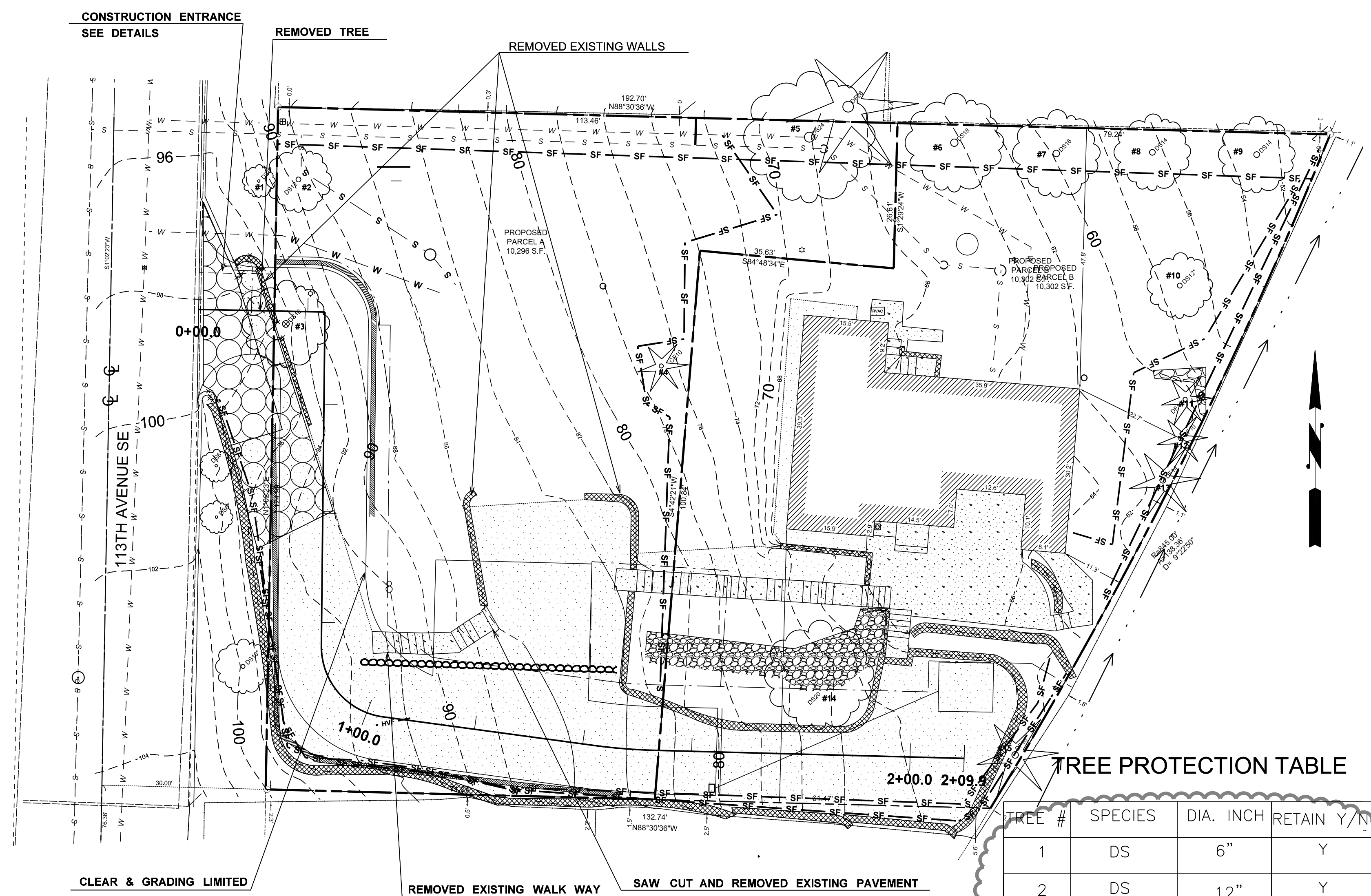
PERMIT NO: 19-118699 LN  
MELNIK SHORT PLAT  
3236 113TH AVE SE  
BELLEVUE WA 98004

UTILITY GRID # F-12

## PROJECT NOTES

SEC 33 TWP 25 RGE 5 SHT 1 OF 10

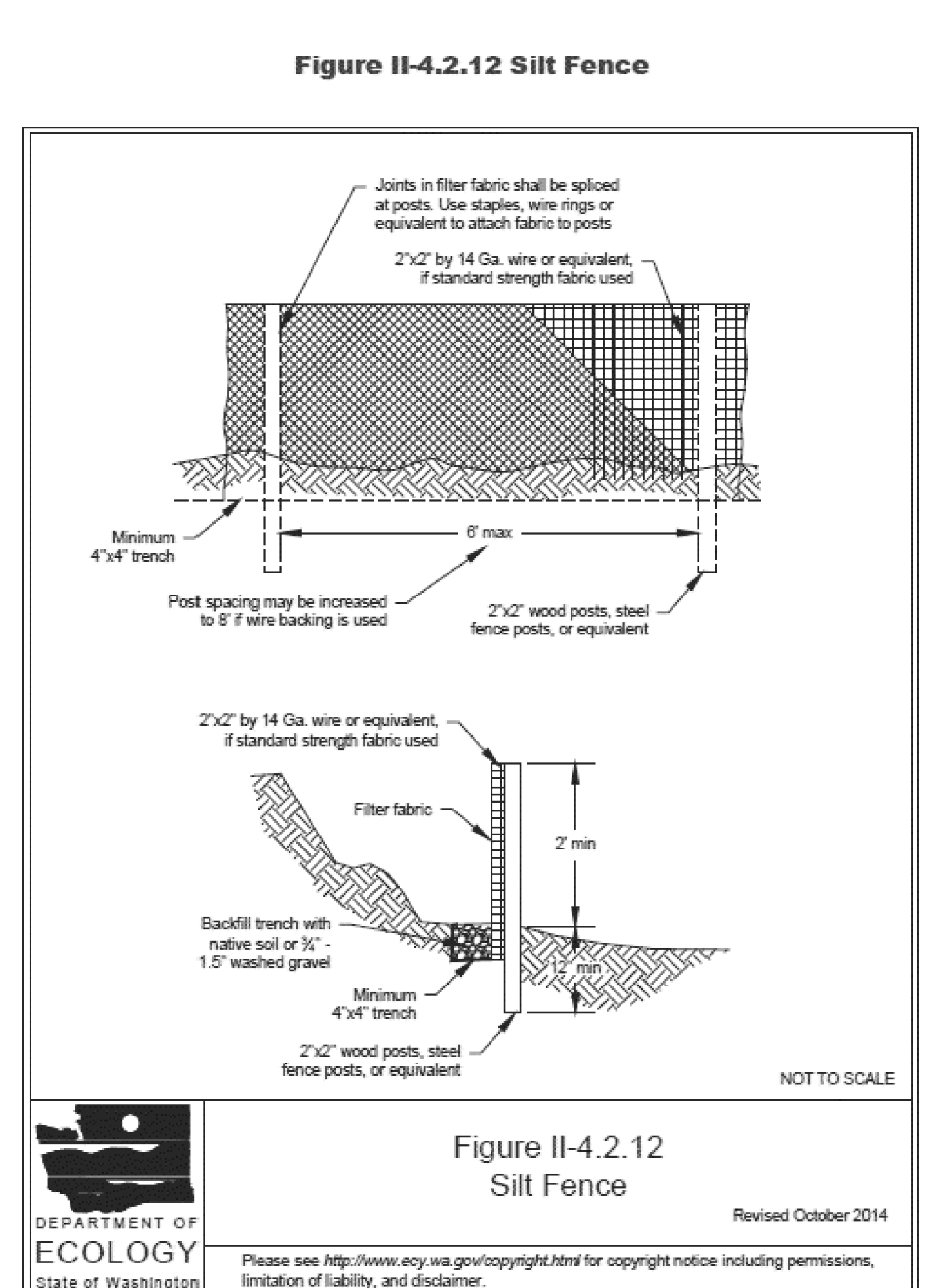
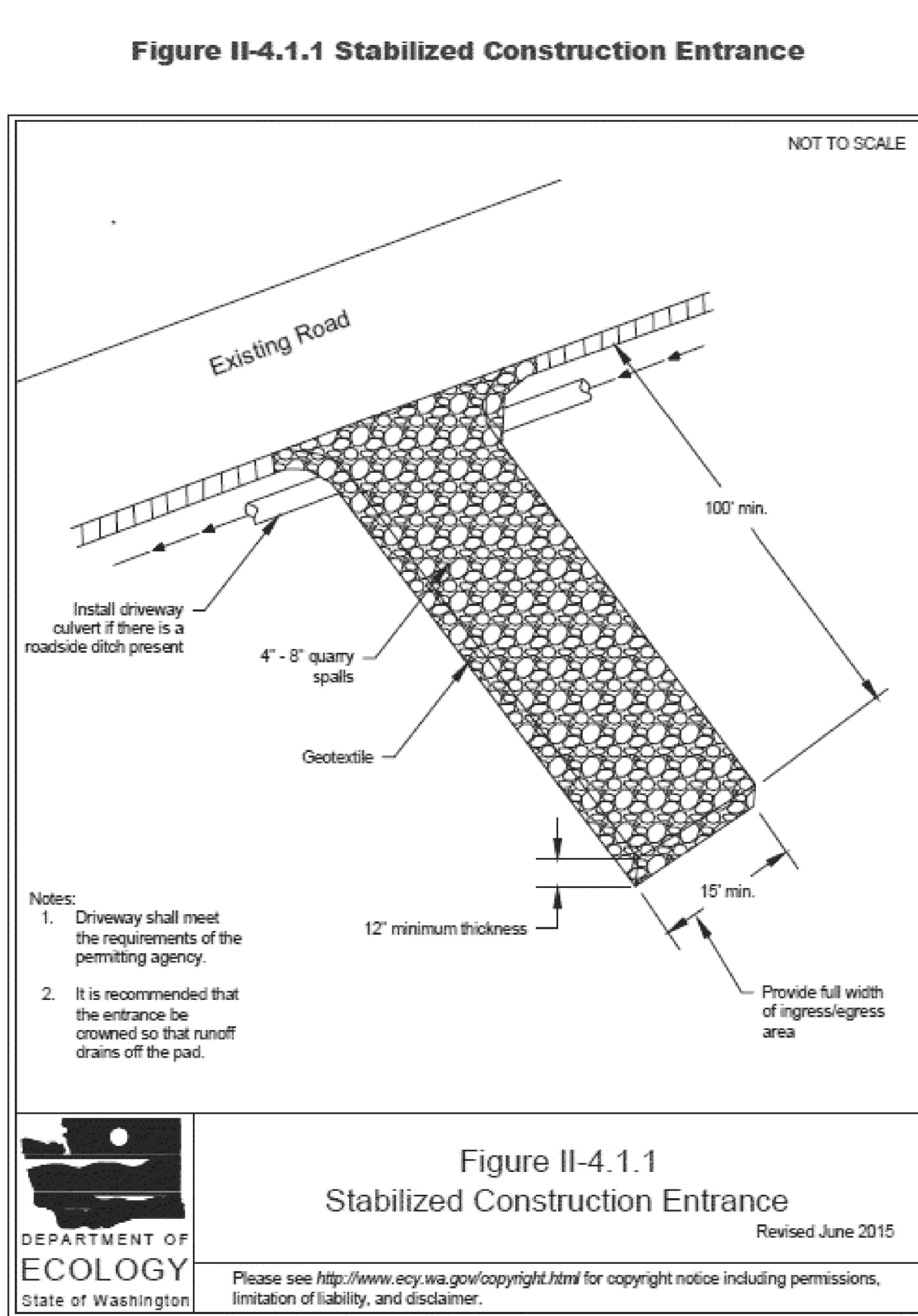




LEGEND	
SAND BAG	
SILT FENCE	
TREE	
EXISTING EDGE PAVEMENT	

TREE NAME	
DS	DECIDUOUS
CE	CEDAR
DF	DOUGLAS FIR

TREE PROTECTION TABLE			
TREE #	SPECIES	DIA. INCH	RETAIN Y/N
1	DS	6"	Y
2	DS	12"	Y
3	DS	16"	N
4	CE	10"	Y
5	DS	24"	Y
6	DS	18"	Y
7	DS	16"	Y
8	DS	14"	Y
9	DS	14"	Y
10	DS	12"	Y
11	DF	10"	Y
12	DF	10"	Y
13	DF	14"	Y
14	DS	20"	Y
15	DF	16"	Y
TOTAL DIAMETER INCH		212	
DIAM. INCH TO RETAIN		196	
PERCENTAGE RETAIN		92.5%	



Construction Sequence:

1. Hold an onsite pre-construction meeting.
2. Flag or fence clearing limits.
3. Install catch basin protection, if required.
4. Grade and install construction entrance(s).
5. Install perimeter protection (silt fence, brush barrier, etc.).
6. Construct sediment pond(s) and/or trap(s).
7. Construct surface water controls (interceptor dikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development.
8. Maintain TESC measures in accordance with City standards and manufacturer's recommendations.
9. Relocate surface water controls or TESC measures, or install new measures so that as site conditions change, the TESC is always in accordance with the City of Bellevue Temporary Erosion and Sedimentation Control Requirements.
10. Cover all areas that will be un-worked for more than two days during the wet season (Oct. 1 to April 30) or seven days during the dry season (May 1 to Sept. 30) with straw, wood fiber mulch, compost, plastic sheeting, or equivalent.
11. Stabilize all areas within seven days of reaching final grade.
12. Seed or sod any areas to remain un-worked for more than 30 days.
13. Upon completion of the project, stabilize all disturbed areas and remove TESC measures if appropriate.



NO	DATE	BY	APPR

TANDEM ENGINEERING CONSULTANT INC  
8822 NE 178TH ST  
BOTHELL, WA 98011



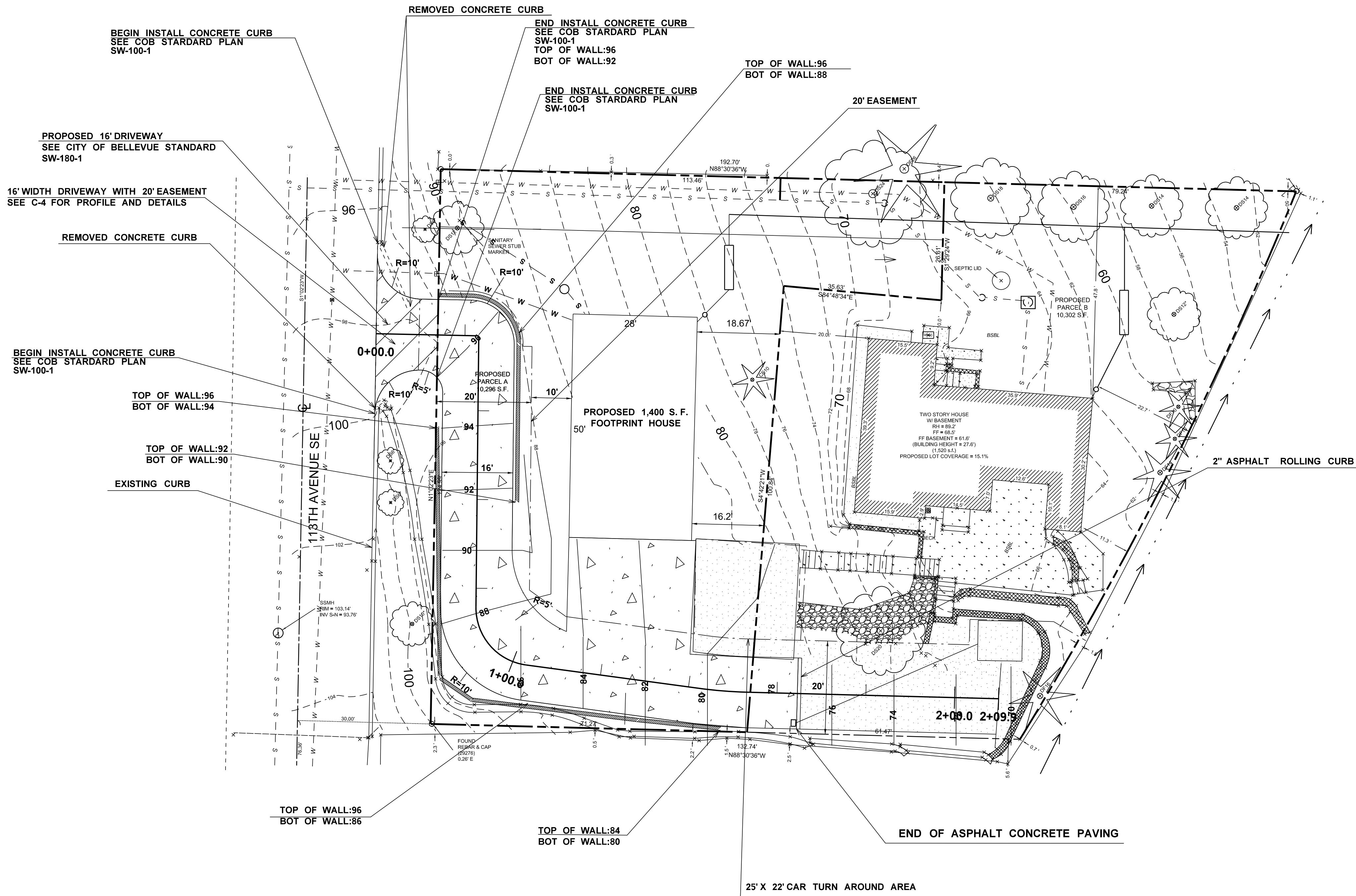
Approved By

JIM. S	4/15/2020
DESIGNED BY	DATE
JIM. S	4/15/2020
DRAWN BY	DATE
S. WU	4/18/2020
CHECKED BY	DATE

PERMIT NO: 19-118699 LN  
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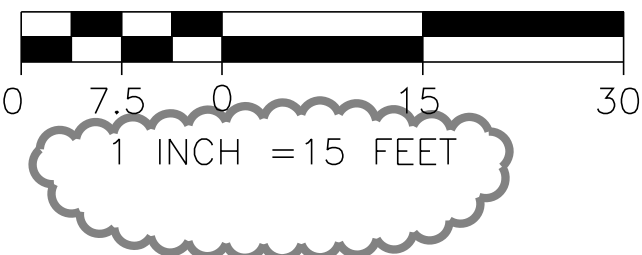
UTILITY GRID # F-12

TESC PLAN



LEGEND

- EXISTING LOT LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EASEMENT LINE
- PROPOSED RETAINING WALL
- EXISTING EDGE PAVEMENT
- EXISTING GRAVEL PARKING
- PROPOSED DRIVEWAY PAVEMENT
- SEE CITY OF BELLEVUE STANDARD SW-180-1 PAVING DETAILS



NOT FOR CONSTRUCTION

UTILITY GRID # F-12

NO	DATE	BY	APPR	REVISIONS

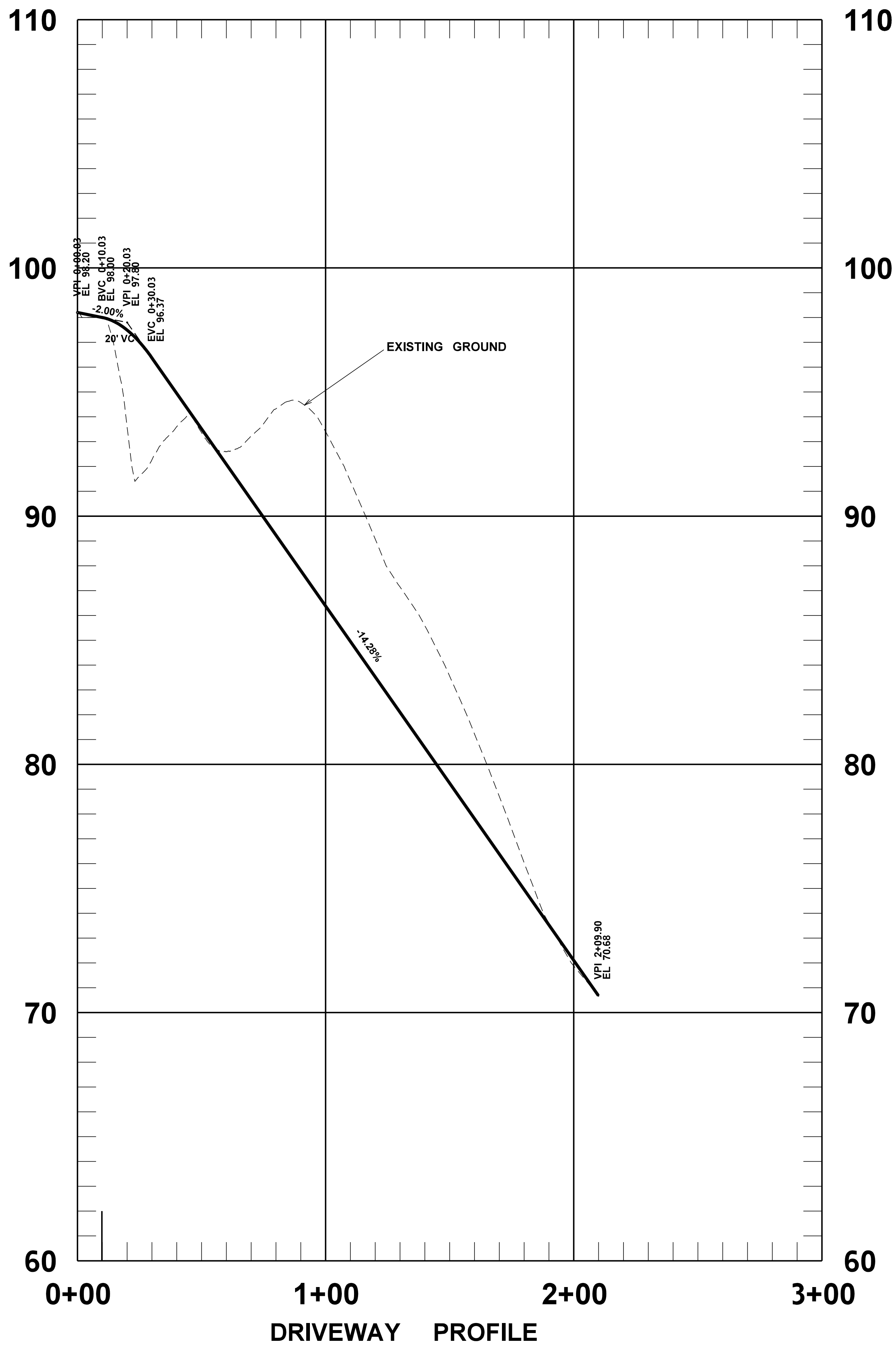
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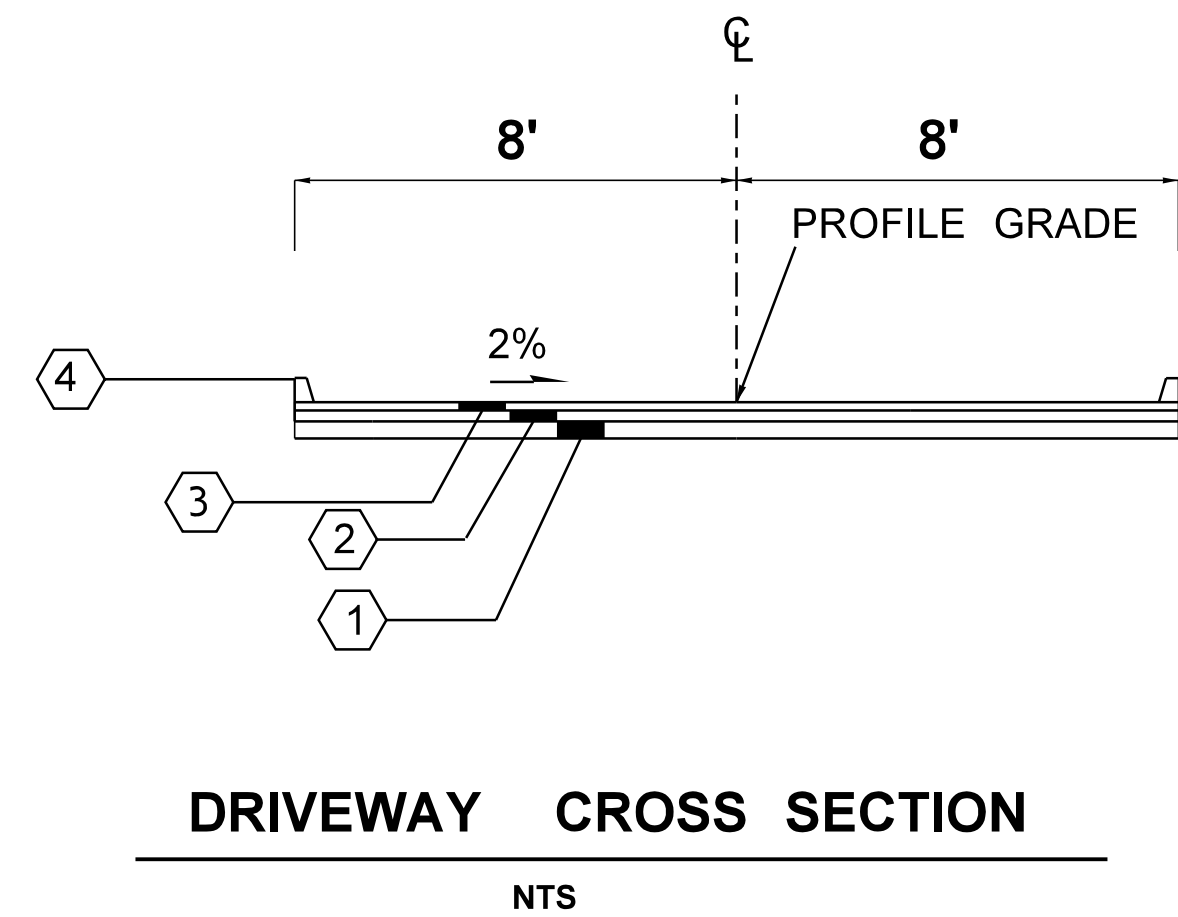
JIM. S 6/28/2020  
DESIGNED BY DATE  
JIM. S 6/28/2020  
DRAWN BY DATE  
S. WU 7/01/2020  
CHECKED BY DATE

PERMIT NO: 19-118699 LN  
MELNIK SHORT PLAT  
3236 113TH AVE SE  
BELLEVUE WA 98004

GRADATION PLAN



H 1"=30'  
V 1"=3'



**NOTE**

- ① 4" CSBC
- ② 6" ASPHALT TREATED BASE
- ③ 4" HMA CLASS B
- ④ 4" ASPHALT CURB

ALL DEPTH ABOVE ARE COMPACTED DEPTH

NOT FOR CONSTRUCTION

NO	DATE	BY	APPR	REVISIONS

**TANDEM ENGINEERING CONSULTANT INC**

8822 NE 178TH ST  
BOTHELL, WA 98011

JIM. S	6/28/2020
DESIGNED BY	DATE
JIM. S	6/28/2020
DRAWN BY	DATE
S. WU	7/01/2020
CHECKED BY	DATE

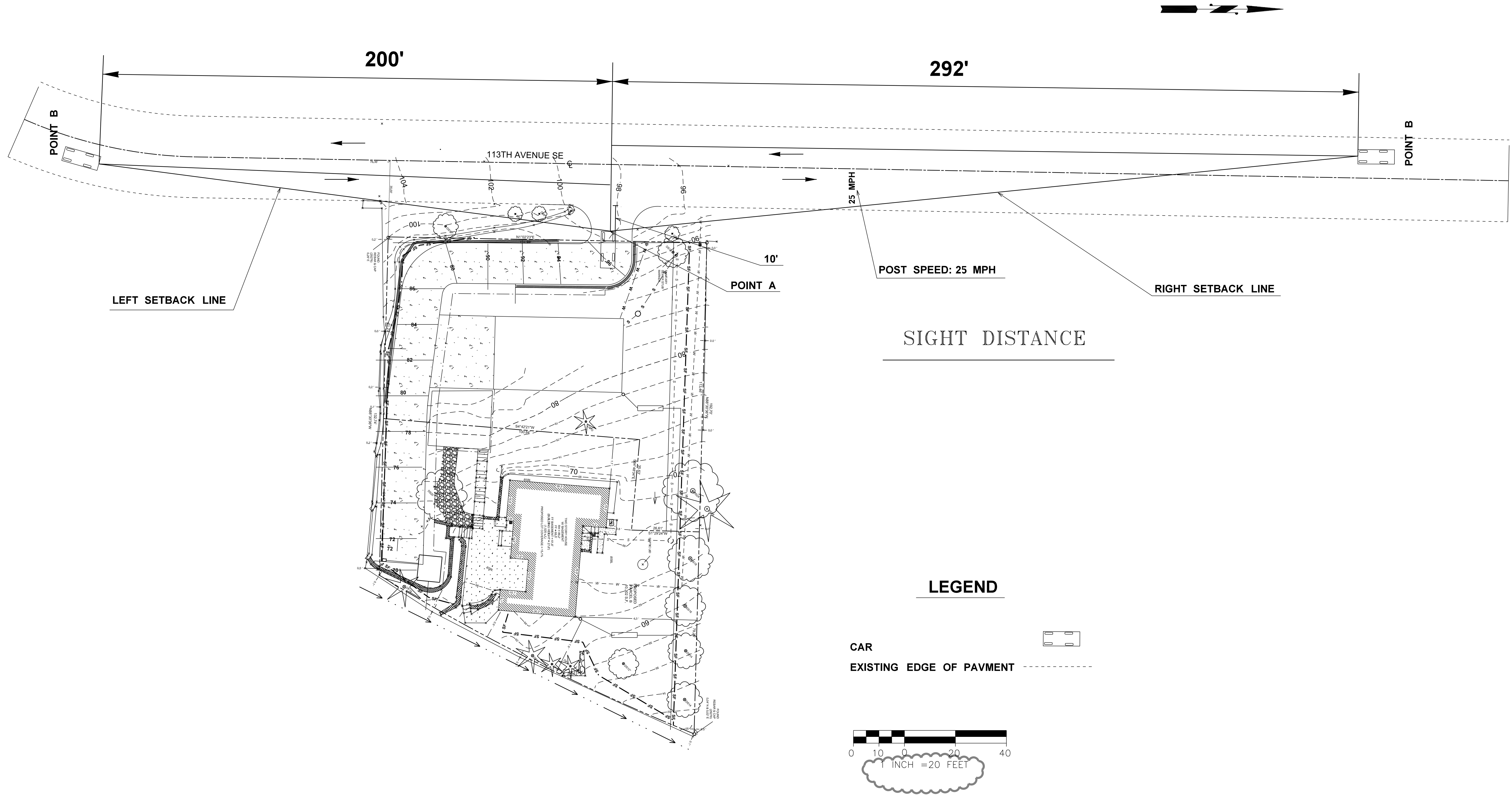
**PERMIT NO: 19-118699 LN**

**MELNIK SHORT PLAT**

**3236 113TH AVE SE**

**BELLEVUE WA 98004**





NO	DATE	BY	APPR

REVISIONS

TANDEM ENGINEERING CONSULTANT INC  
8822 NE 178TH ST  
BOTHELL, WA 98011

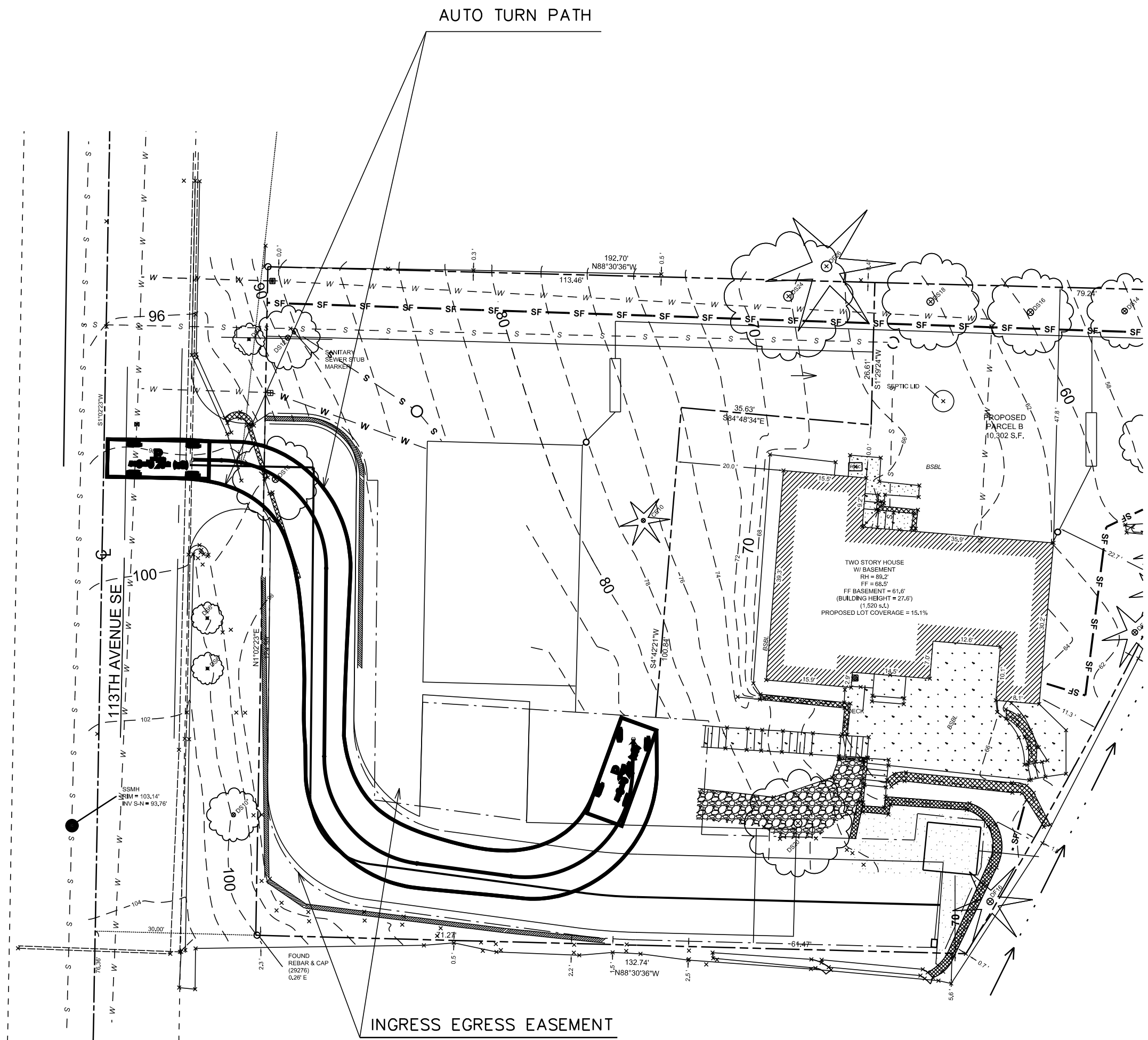
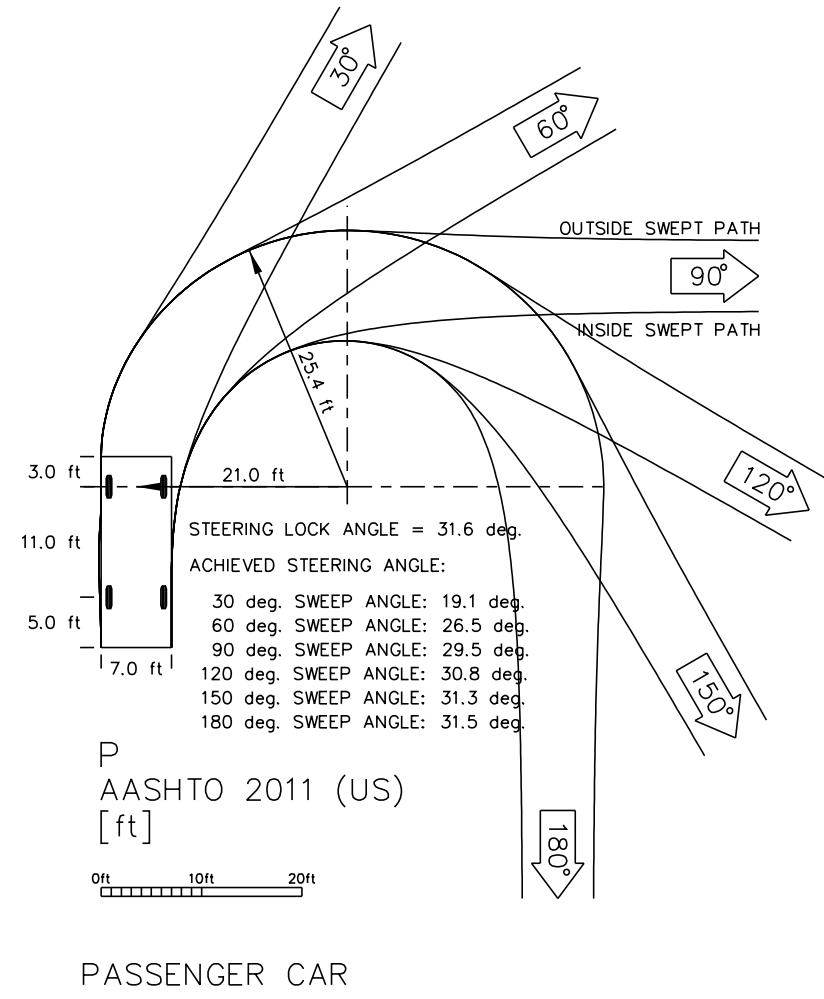


JIM. S 6/25/2020  
DESIGNED BY DATE  
JIM. S 6/25/2020  
DRAWN BY DATE  
S. WU 6/28/2020  
CHECKED BY DATE

PERMIT NO: 19-118699 LN  
MELNIK SHORT PLAT  
3236 113TH AVE SE  
BELLEVUE WA 98004

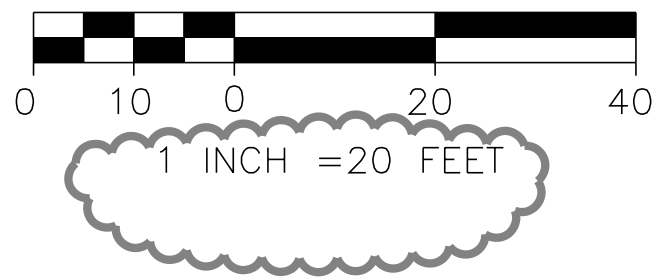
UTILITY GRID # F-12

SIGHT DISTANCE



LEGEND

INGRESS EGRESS EASEMENT



UTILITY GRID # F-12

NO	DATE	BY	APPR

REVISIONS

TANDEM ENGINEERING CONSULTANT INC  
8822 NE 178TH ST  
BOTHELL, WA 98011



JIM. S 4/15/2020  
DESIGNED BY DATE  
JIM. S 4/15/2020  
DRAWN BY DATE  
S. WU 4/18/2020  
CHECKED BY DATE

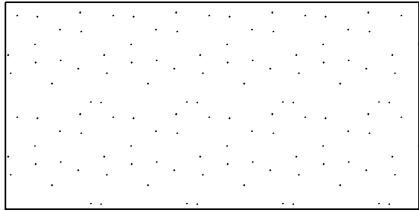
PERMIT NO: 19-118699 LN  
MELNIK SHORT PLAT  
3236 113TH AVE SE  
BELLEVUE WA 98004

AUTO TURN PATH

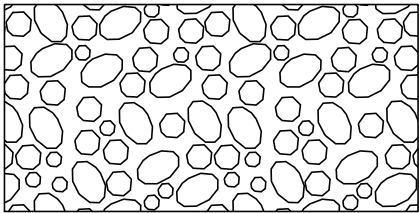
SEC 33 TWP 25 RGE 5 SHT 6 OF 10



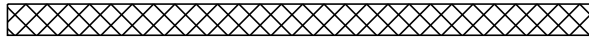
LEGEND



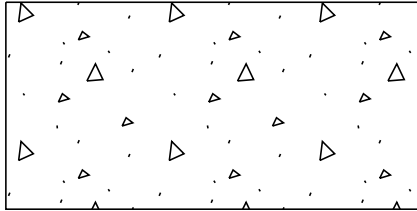
EXISTING GRAVEL AREA  
4,753.0 S.F.



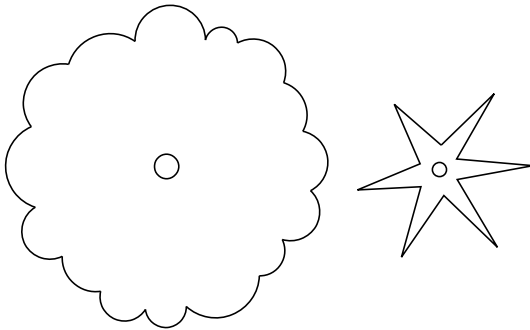
EXISTING ROCK AREA  
316.0 S.F.



EXISTING WALL AREA  
515.50 S.F



EXISTING CONCRETE AREA  
1,082.0S.F.



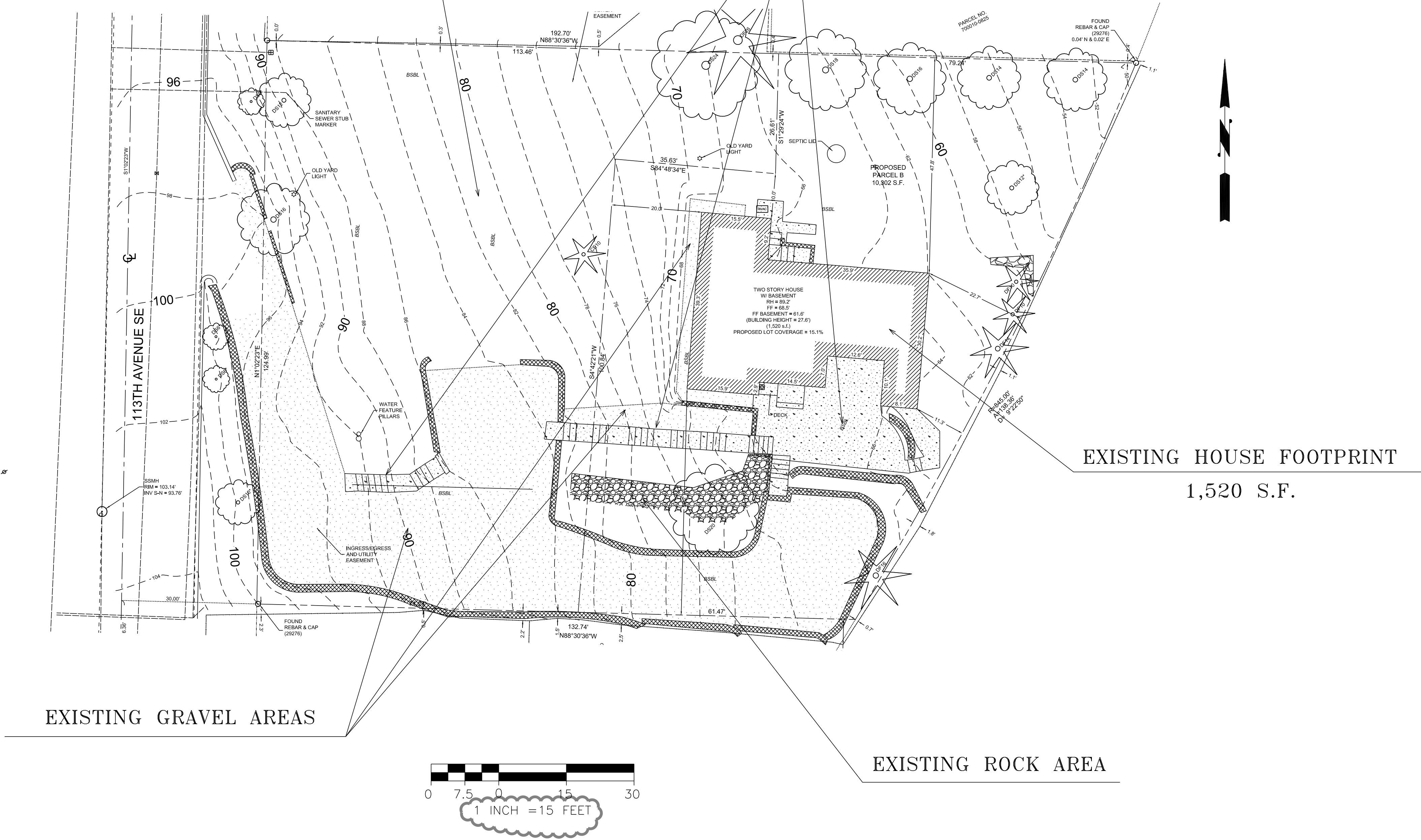
TREE COVER AREA  
1,738 S.F

SUMMARY OF EXISTING SITE CONDITION

SURFACE TYPE	AREA	UNIT
TOTAL LOT	20,599	SF
ROOF	1,520	SF
GRAVEL DRIVEWAY (pgis)	4,753	SF
CONCRETE AREA	1,082	SF
ROCK	316	SF
WALL AREA	516	SF
IMPERVIOUS AREA SUBTOTAL	8,186	SF
TREE COVER AREA	1,738	SF
LAWAN/LANDSCAPE	10,675	SF
		SF
PERVIOUS TOTAL	12,413	SF

EXISTING PERVIOUS AREA  
12,413 S.F.

EXISTING CONCRETE AREAS



NO	DATE	BY	APPR	REVISIONS

TANDEM ENGINEERING CONSULTANT INC  
8822 NE 178TH ST  
BOTHELL, WA 98011

JIM. S 6/28/2020  
DESIGNED BY DATE  
JIM. S 6/28/2020  
DRAWN BY DATE  
S. WU 7/01/2020  
CHECKED BY DATE

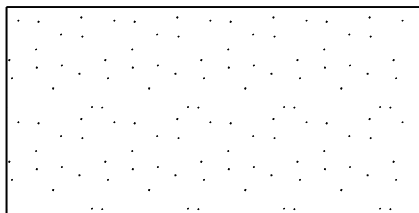
PERMIT NO: 19-118699 LN  
MELNIK SHORT PLAT  
3236 113TH AVE SE  
BELLEVUE WA 98004

EXISTING IMPERVIOUS  
PLAN

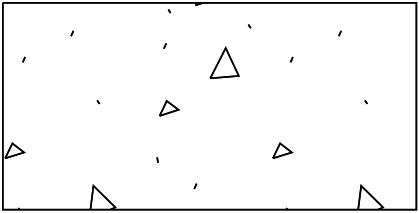
SEC 33 TWP 25 RGE 5 SHT 7 OF 10

UTILITY GRID # F-12

LEGEND



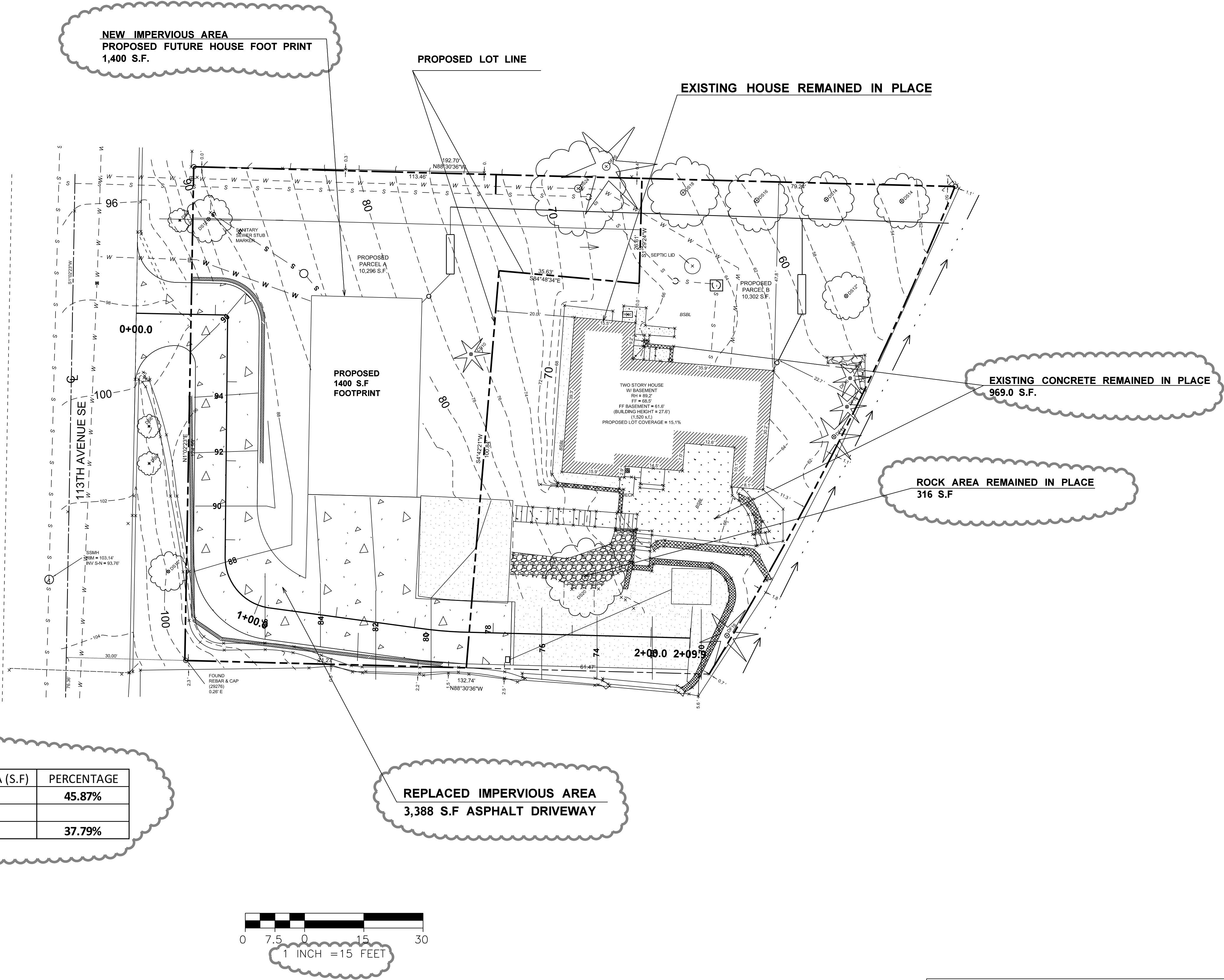
EXISTING GRAVEL AREA  
REMAINED IN PLACE 1,956 S.F.



REPLACED IMPERVIOUS AREA  
PROPOSED ASPHALT DRIVEWAY  
3,388 S.F.

IMPERVIOUS AREAS

	TOTAL AREA (S.F.)	STRUCTURE AREA (S.F.)	IMPERVIOUS AREA (S.F.)	TOTAL IMPERVIOUS AREA (S.F.)	PERCENTAGE
LOT A	10,296	1,400	3,323	4,723	45.87%
LOT B	10,802	1,520	2,562	4,082	37.79%



UTILITY GRID # F-12

REVISIONS

NO	DATE	BY	APPR

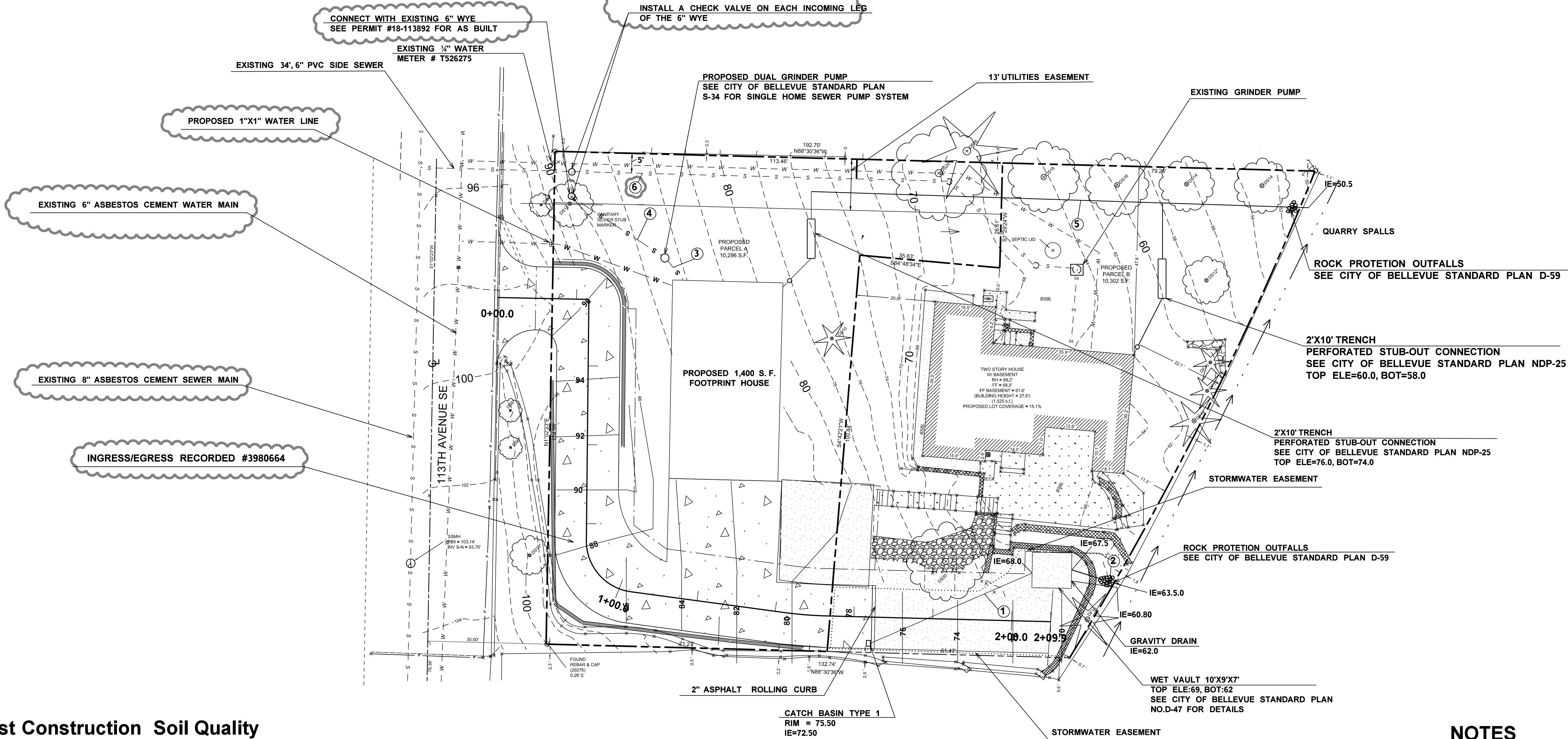
TANDEM ENGINEERING CONSULTANT INC  
8822 NE 178TH ST  
BOTHELL, WA 98011

JIM. S 6/28/2020  
DESIGNED BY DATE  
JIM. S 6/28/2020  
DRAWN BY DATE  
S. WU 7/01/2020  
CHECKED BY DATE

PERMIT NO: 19-118699 LN  
MELNIK SHORT PLAT  
3236 113TH AVE SE  
BELLEVUE WA 98004

PROPOSED IMPERVIOUS  
PLAN

SEC 33 TWP 25 RGE 5 SHT 8 OF 10



Post Construction Soil Quality

All areas subject to clearing and grading that have not been covered by impervious surface, incorporated into a drainage facility or engineered as structure fill or slope shall, at project completion, demonstrate the following:

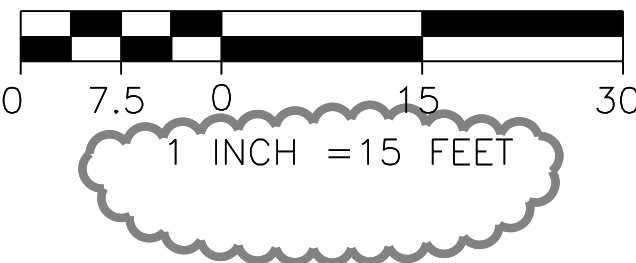
1. A topsoil layer with a minimum organic matter content of 10% dry weight in planting beds, and 5% organic matter content in turf areas, and a pH from 6.0 to 8.0 or matching the pH of the undisturbed soil. The topsoil layer shall have a minimum depth of eight inches except where tree roots limit the depth of incorporation of amendments needed to meet the criteria. Subsoils below the topsoil layer should be scarified at least 4 inches with some incorporation of the upper material to avoid stratified layers, where feasible.

2. Mulch planting beds with 2 inches of organic material



3. Use compost and other materials that meet these organic content requirements:

a. The organic content for "pre-approved" amendment rates can be met only using compost meeting the compost specification for BMP T7.30: Bioretention Cells, Swales, and Planter Boxes (p.959), with the exception- that the compost may have up to 35% biosolids or manure. The compost must also have an organic matter content of 40% to 65%, and a carbon to nitrogen ratio below 25:1. The carbon to nitrogen ratio may be as high as 35:1 for plantings composed entirely of plants native to the Puget Sound Lowlands region.

b. Calculated amendment rates may be met through use of composted material meeting (a.) above; or other organic materials amended to meet the carbon to nitrogen ratio requirements, and not exceeding the contaminant limits identified in Table 220-B, Testing Parameters, in WAC 173-350-220.



LEGEND

EXISTING LOT LINE	_____	STORMWATER EASEMENT	.....
EXISTING COUNTOUR LINE	_____		
EASEMENT LINE	_____		
EXISTING SEWER LINE	- S - - S - - S - - S -		
EXISTING WATER LINE	- W - - W - - W - - W -		
EXISTING POWER LINE	_____ P _____ P _____		
EXISTING TELEPHONE LINE	_____ T _____ T _____		
PROPOSED SIDE SEWER	- S - - S - - S - - S -		
PROPOSED ¼" WATER LINE	- W - - W - - W - - W -		
EXISTING EDGE PAVEMENT	_____		
EXISTING WATER METER BOX			
EXISTING DITCH	 - - - -		

- NOTES
- ① 4" STORM DRAIN, L=45', S=10.0% (ASTM D-3034 PVC)
  - ② 6" STORM DRAIN, L=12, S=33% GRADE (ASTM D-3034 PVC)
  - ③ 4" SEWER, L= 7.5', S=2.0 (ASTM D-3034 PVC)
  - ④ 2" FORCE MAIN-SEE CITY OF BELLEVUE STANDARD PLAN S-34.
  - ⑤ 4" STORM DRAIN, L=278, 2.0% GRADE (ASTM D-3034 PVC)
  - ⑥ 2" EXISTING PVC SCHD 40 FORCE MAIN



NOT FOR CONSTRUCTION

NO	DATE	BY	APPR

REVISIONS

TANDEM ENGINEERING CONSULTANT INC  
8822 NE 178TH ST  
BOTHELL, WA 98011



Approved By

JIM. S	6/28/2020
DESIGNED BY	DATE
JIM. S	6/28/2020
DRAWN BY	DATE
S. WU	7/01/2020
CHECKED BY	DATE

PERMIT NO: 19-118699 LN  
MELNIK SHORT PLAT  
3236 113TH AVE SE  
BELLEVUE WA 98004

UTILITY GRID # F-12

DRAINAGE & SEWER  
PLAN

SEC 33 TWP 25 RGE 5 SHT 9 OF 10

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UTILITY GRID # F-12

NO	DATE	BY	APPR		TANDEM ENGINEERING CONSULTANT INC  8822 NE 178TH ST  BOTHELL, WA 98011			JIM. S 6/28/2020 DESIGNED BY DATE JIM. S 6/28/2020 DRAWN BY DATE S. WU 7/01/2020 CHECKED BY DATE	PERMIT NO: 19-118699 LN MELNIK SHORT PLAT  3236 113TH AVE SE  BELLEVUE WA 98004		
										SEC <u>33</u> TWP <u>25</u> RGE <u>5</u>   SHT <u>10</u> OF <u>10</u>	



**ATTACHMENT 3 - USE EASEMENT**

**Return Address:**

Terrance Randall Wilson  
Wilson Law Group of Washington  
P.O. Box 158  
Kent, WA 98035  
(206) 805-6238

Please print or type information WASHINGTON STATE RECORDER'S Cover Sheet (RCW 65.04)

<b>Document Title(s)</b> (or transactions contained therein):  Use Easement	
<b>Reference Number(s) of Document(s) Assigned or Released:</b>  N/A	
<b>Grantor(s):</b>  1. Peng Xie 2. Yingfang Du 3.	
<b>Grantee(s):</b>  1. Victor F. Melnik 2. Lyndsey J. Melnik 3.	
<b>Legal Description</b> (abbreviated: i.e. lot, block, plat or section, township, range):  PTNs of Lots 9, 10, and 11, Block 6, Qualheim's Lake Washington Acre Tracts, according to the plat recorded in Volume 15 of plats, page 46, records of King County, Washington.  Additional legal is on page <u>2</u> of document.	
<b>Assessor's Property Tax Parcel/Account Number(s):</b>  700010-0850; 700010-0840	<input type="checkbox"/> Not yet assigned
The Auditor/Recorder will rely on the information provided on the form. The staff will not read the document to verify the accuracy or completeness of the indexing information provided herein.	

**USE EASEMENT**

This Use Easement is made by and between Peng Xie and Yingfang Du, a married couple, as grantor ("Grantor"), and Victor F. Melnik and Lyndsey J. Melnik, husband and wife, as grantee ("Grantee").

WITNESSETH:

WHEREAS, Grantor is the owner of that certain real property commonly known as Tax Parcel No. 700010-0850, legally described as follows (the "Grantor Property"):

The South 75 feet of the West 150 feet of Lot 10, Block 6, Qualheim's Lake Washington Acre Tracts, according to the plat recorded in Volume 15 of plats, page 46, records of King County, Washington;

Except that portion thereof conveyed to King County for road by deed recorded under Recording No. 3380664; and

Except that portion thereof conveyed to the State of Washington for Primary State Highway No. 2 by deed recorded under Recording No. 558128 and that portion condemned under King County Superior Court Cause No. 666564; and

Also that portion of Lot 11, Block 6, Qualheim's Lake Washington Acre Tracts, according to the plat recorded in Volume 15 of plats, page 46, records of King County, Washington, as conveyed by the State of Washington under deed recorded under Recording No. 7404110243; Situate in Bellevue, King County, Washington.

AND WHEREAS, Grantee is the owner of that certain real property commonly known as Tax Parcel No. 700010-0840, legally described as follows (the "Grantee Property"):

The West 217.11 feet of Lot 9 and Lot 10, except the South 75 feet of the West 150 feet; all in Block 6, Qualheim's Lake Washington Acre Tracts, according to the plat recorded in Volume 15 of plats, page 46, records of King County, Washington;

Except that portion thereof conveyed to King County for road by deed recorded under Recording No. 3380664; and

Except that portion thereof conveyed to the State of Washington for Primary State Highway No. 2 by deed recorded under Recording No. 558128 and that portion condemned under King County Superior Court Cause No. 666564;

Situate in Bellevue, King County, Washington.

AND WHEREAS, there exists a driveway and landscaping (the "Encroachment/Improvements") maintained by Grantee located on a portion of the Grantor Property;

AND WHEREAS, Grantee desires for the Encroachment/Improvements to remain on the Grantor Property, and Grantor is amenable to the Encroachment/Improvements remaining under certain terms and conditions;

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto mutually agree as follows:

1. Grantor hereby grants, bargains, sells, conveys, and confirms forever unto Grantee and their heirs, successors, and/or assigns, including any future subdivision of lots, parcels, and/or unit lots on the Grantee Property, a perpetual non-exclusive use easement for access, ingress, egress, and landscaping purposes over, through, across, and upon a portion of the Grantor Property, said portion being legally described as follows (the "Easement Area"):

see legal description and graphical depiction,  
both attached hereto and by this reference made a part hereof



2. The use easement shall be for purposes of allowing the Encroachment/Improvements to continue to be located on the Grantor Property and to allow Grantee to use the Easement Area for driveway/landscaping/maintenance purposes for so long as the Encroachment/Improvements remain in place pursuant to the restrictions below:
  - a. Grantee shall be responsible, at their sole expense, for compliance with any and all laws and regulations applicable to Grantee's use of the Easement Area.
  - b. Grantee shall, at their sole expense, maintain the Encroachment/Improvements in good, sightly, and safe condition.
  - c. Except for routine maintenance, repairs and replacement, Grantee shall not be permitted to expand or improve the Encroachment/Improvements within the Easement Area.
3. Grantee shall have the right, without prior institution of suit or proceeding at law, to enter upon the Easement Area and such additional portions of the Grantor Property as reasonably necessary to access the Easement Area for purposes consistent with the provisions of this easement.
4. All costs associated with repair, maintenance, and/or removal of the Encroachment/Improvements shall be borne solely by Grantee. After entry onto the Grantor Property for purposes consistent with the provisions herein, Grantee shall restore the surface of the Easement Area to a condition reasonably equivalent to its condition prior to entry by Grantee. Grantee shall exercise its best effort not to damage any private improvements within the Grantor Property, but if damage occurs, Grantee shall repair and/or replace said improvements at its sole expense.
5. If Grantee removes or relocates the Encroachment/Improvements from the Grantor Property, Grantee shall, at its sole expense, restore the surface of the Easement Area to a condition reasonably equivalent to its condition prior to Grantee's use.
6. No obstructions of any kind whatsoever shall be allowed within the Easement Area that would impede the ingress and egress for the purposes herein defined.
7. This Use Easement shall terminate and be of no further force or effect upon recording of a relinquishment document after Grantee's removal or relocation of the Encroachment/Improvements off the Grantor Property once Grantee has restored the Grantor Property as described above.
8. Grantee agrees and covenants to execute and record such documents as are reasonably necessary to affirm the termination of the Easement.
9. Grantee agrees to indemnify, defend, and hold Grantor and their heirs, successors, and assigns harmless from any and all liability associated with Grantee's, their licensees', or invitees' use, enjoyment, or maintenance of Easement Area. Grantee expressly and specifically agrees that this indemnification shall be **without limitation**.
10. In consideration for the grant of easement contained herein, Grantee hereby releases and quitclaims to Grantor any other right, title, or interest (including any rights related to adverse possession) that Grantee and/or its predecessors may have in the Grantor Property. Grantee acknowledges that this easement affords Grantee no ownership rights of any kind to the underlying real property within the Easement Area.
11. If any suit or other proceeding is instituted by any of the parties to this Use Easement arising out of or pertaining to this Use Easement, including, but not limited to, filing suit or requesting an

arbitration or other alternative dispute resolution process, and appeals and collateral actions relative to such suit or proceeding, the substantially prevailing party shall be entitled to recover its reasonable attorneys' fees and all costs and expenses from the substantially non-prevailing party, in addition to any other available relief.

12. This Use Easement shall be a covenant running with the land forever and shall be binding upon Grantor and Grantee and their respective heirs, successors, and/or assigns. The Grantor Property and the Grantee Property shall be held, used, leased, sold, and/or conveyed subject to the terms of this Use Easement.

Dated this 1<sup>st</sup> day of Aug, 2020.

GRANTOR  
Peng Xie

Peng Xie  
Signature

GRANTOR  
Yingfang Du

Yingfang Du  
Signature

GRANTEE  
Victor F. Melnik

Victor F. Melnik  
Signature

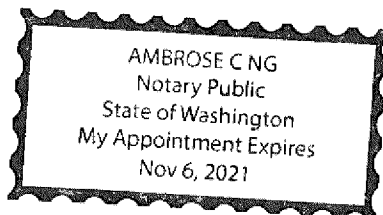
GRANTEE  
Lyndsey J. Melnik

Lyndsey J. Melnik  
Signature

STATE OF WASHINGTON )  
COUNTY OF King ) ss.

I certify that I know or have satisfactory evidence that Peng Xie is the person who appeared before me, and said person acknowledged that they signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.

08/01/2020  
Dated



Ambrose Ng  
Notary Public in and for the State of Washington

Ambrose Ng  
Printed Name

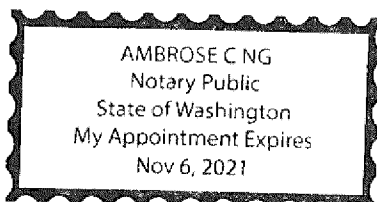
Residing at: Lynnwood, WA

Appointment Expires: Nov 6<sup>th</sup> 2021

STATE OF WASHINGTON )  
COUNTY OF King ) ss.

I certify that I know or have satisfactory evidence that Yingfang Du is the person who appeared before me, and said person acknowledged that they signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.

08/01/2020  
Dated

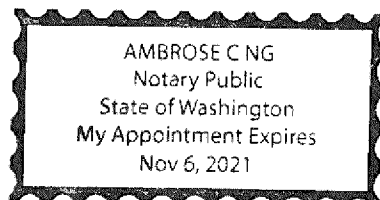


Ambrose NG  
Notary Public in and for the State of Washington  
Ambrose NG  
Printed Name  
Residing at: Lynnwood, WA  
Appointment Expires: Nov 6th 2021

STATE OF WASHINGTON )  
COUNTY OF King ) ss.

I certify that I know or have satisfactory evidence that Victor F. Melnik is the person who appeared before me, and said person acknowledged that he signed this instrument and acknowledged it to be his free and voluntary act for the uses and purposes mentioned in the instrument.

08/01/2020  
Dated

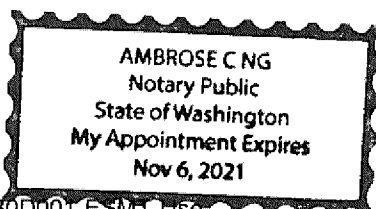


Ambrose NG  
Notary Public in and for the State of Washington  
Ambrose NG  
Printed Name  
Residing at: Lynnwood, WA  
Appointment Expires: Nov 6th 2021

STATE OF WASHINGTON )  
COUNTY OF King ) ss.

I certify that I know or have satisfactory evidence that Lyndsey J. Melnik is the person who appeared before me, and said person acknowledged that she signed this instrument and acknowledged it to be her free and voluntary act for the uses and purposes mentioned in the instrument.

08/01/2020  
Dated

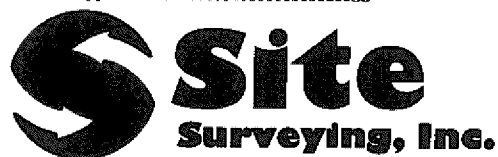
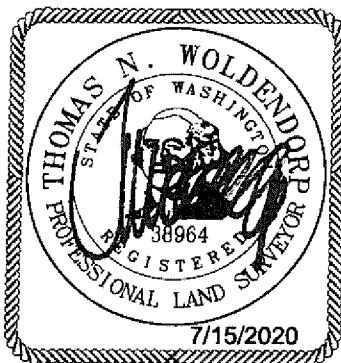


Ambrose NG  
Notary Public in and for the State of Washington  
Ambrose NG  
Printed Name  
Residing at: Lynnwood, WA  
Appointment Expires: Nov 6th 2021

EXHIBIT A  
LEGAL

A PORTION OF THE FOLLOWING DESCRIBED TRACT OF LAND;  
THE SOUTH 75 FEET OF THE WEST 150 FEET OF LOT 10, BLOCK 6 OF QUALHEIM'S LAKE  
WASHINGTON ACRE TRACTS, AS PER PLAT RECORDED IN VOLUME 15 OF PLATS, PAGE 46,  
RECORDS OF KING COUNTY AUDITOR; EXCEPT THAT PORTION CONVEYED TO KING  
COUNTY FOR ROAD BY DEED RECORDED UNDER RECORDING NUMBER 3980664; AND  
EXCEPT THAT PORTION THEREOF CONVEYED TO THE STATE OF WASHINGTON FOR  
PRIMARY STATE HIGHWAY NO. 2 BY DEED RECORDED UNDER AUDITORS FILE NUMBER  
6071546 AND THAT PORTION CONDEMNED UNDER KING COUNTY SUPERIOR COURT  
CAUSE NUMBER 666564; ALSO THAT PORTION OF LOT 11, BLOCK 6, QUALHEIM'S LAKE  
WASHINGTON ACRE TRACTS, AS PER PLAT RECORDED IN VOLUME 15 OF PLATS, PAGE 46,  
RECORDS OF KING COUNTY, WASHINGTON AS CONVEYED BY THE STATE OF  
WASHINGTON UNDER DEED RECORDED UNDER RECORDING NUMBER 7404110243;  
SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;  
BEGINNING AT THE NORTHEAST CORNER OF ABOVE DESCRIBED TRACT; THENCE, ALONG  
THE NORTH BOUNDARY OF SAID TRACT, N88°30'36"W 94.81 FEET; THENCE S86°38'53"E  
33.55 FEET; THENCE S84°45'09"E 56.83 FEET; THENCE N44°51'32"E 6.65 FEET, TO THE  
POINT OF BEGINNING.

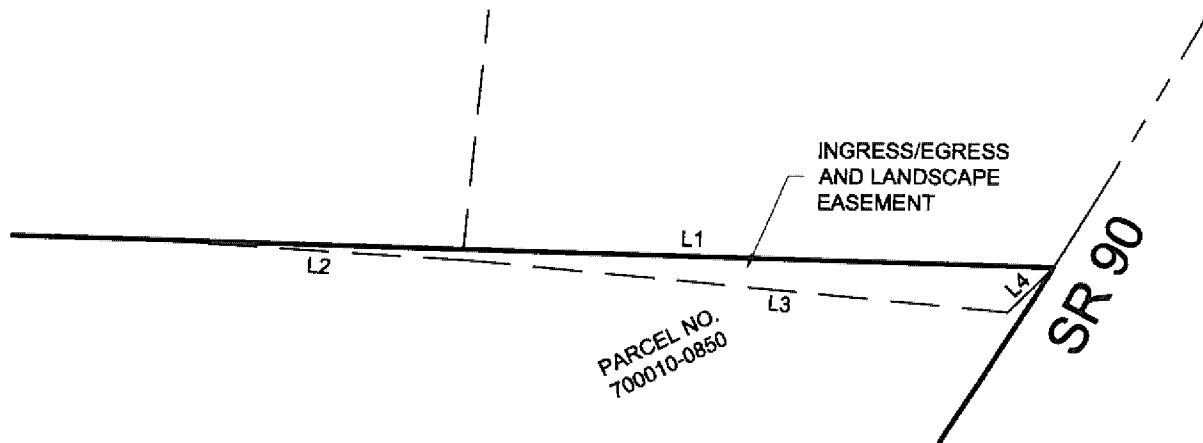
SITUATE IN THE CITY OF BELLEVUE, COUNTY OF KING, STATE OF WASHINGTON



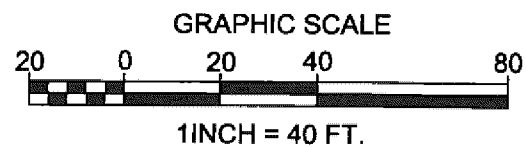
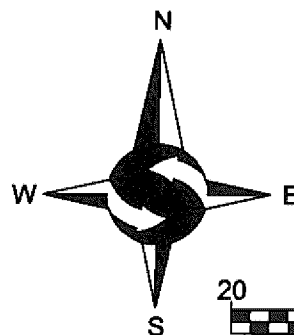
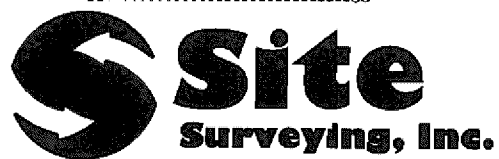
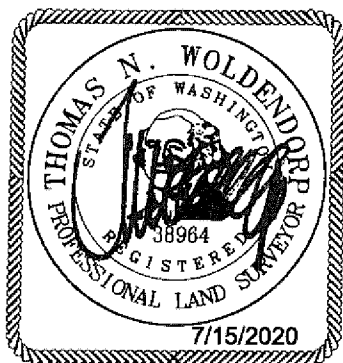
SITE PROJECT # 18-564

PAGE \_\_\_\_ OF \_\_\_\_

EXHIBIT B  
MAP



NUM	BEARING	DISTANCE
L1	S88°30'36"E	94.81'
L2	S86°38'53"E	33.55'
L3	S84°45'09"E	56.83'
L4	N44°51'32"E	6.65'



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